

PB# 04-19

**Joyce Orr
(LLC)**

32-2-76 & 77

P.B. # **04-19** JOYCE ORR L.L. CHG
JACKSON AVE (ZEN DESIGN)

**TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY**

DATE: 3-29-06

Map Number 265-06 City New Windsor
Section 32 Block 2 Lot 76+77 Town 1 Village 1

Title: Or

Dated: 1/27/2006 Filed: 4/5/2006

Approved by Donna L. Benson Genaro Argenio
on 3/29/2006

Record Owner Or, Joyce

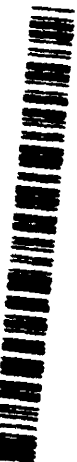
DONNA L. BENSON
Orange County Clerk

lotline change
3 sheets = \$30
+ 3 extra 9

\$39 total

04-19

RECORDED/FILED ORANGE COUNTY
BOOK 02006 PAGE 0265
4/05/2006 14:54:12
FILE NUMBER 20060037993
RECEIPT#560122 patti



PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/17/2006

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LISTING OF PLANNING BOARD ACTIONS

STAGE: PERC

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
03/29/2006	PLANS STAMPED	APPROVED
06/08/2005	P.B. APPEARANCE . CORRECT BULK TABLES -	ND:APPR COND NEED OFFERS OF DEDICATION - FEES
01/26/2005	P.B. APPEARANCE . MOVE LOCATION OF ALTERNATE WELL - . RETURN TO WORK SHOP	LA: WVE PH RETURN ADDRESS MARK'S COMMENTS -
07/07/2004	WORK SHOP APPEARANCE	SET UP FILE FOR PERC
10/29/2003	WORK SHOP APPEARANCE	RETURN TO WS

PLANNING BOARD
TOWN OF NEW WINDSOR

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LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/07/2005	EAF SUBMITTED	/ /	WITH APPLIC
ORIG	02/07/2005	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/07/2005	LEAD AGENCY DECLARED	01/26/2005	TOOK LA
ORIG	02/07/2005	DECLARATION (POS/NEG)	06/08/2005	DECL NEG DEC
ORIG	02/07/2005	SCHEDULE PUBLIC HEARING	/ /	
ORIG	02/07/2005	PUBLIC HEARING HELD	/ /	
ORIG	02/07/2005	WAIVE PUBLIC HEARING	01/26/2005	WAIVE PH
ORIG	02/07/2005	PRELIMINARY APPROVAL	/ /	
ORIG	02/07/2005		/ /	
ORIG	02/07/2005	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

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LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	01/10/2005	MUNICIPAL HIGHWAY	01/25/2005	UNDER REVIEW
ORIG	01/10/2005	MUNICIPAL WATER	/ /	
ORIG	01/10/2005	MUNICIPAL SEWER	/ /	
ORIG	01/10/2005	MUNICIPAL FIRE	01/05/2005	APPROVED
ORIG	01/10/2005	NYS DOT	/ /	
ORIG	01/10/2005	E911 COORDINATOR	01/11/2005	APPROVED



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

February 28, 2006

Zen Design Consultants, Inc.
2 Summit Court - Suite 304
Fishkill, NY 12524

ATTN: KEN LYTTLE, P.E.

SUBJECT: JOYCE ORR SUBDIVISION #04-19

Dear Ken:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, **payable to the Town of New Windsor**, as follows:

Check #1 - Approval Fee.....	\$	360.00
Check #2 - Recreation fee - one lot.....	\$	2,000.00
Check #3 - Amount over escrow posted.....	\$	336.80

Upon receipt of these checks and ten (10) sets of plans with mylar, I will have them stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

Sent 2/28/06

TOWN OF NEW WINDSOR

MINOR SUBDIVISION FEE SCHEDULE

APPLICATION FEE: \$ 75.00

ESCROW:

RESIDENTIAL:

_____ LOTS @ \$200.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$100.00 EACH LOT OVER FOUR LOTS \$ _____

COMMERCIAL:

_____ LOTS @ \$500.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$200.00 EACH LOT OVER FOUR LOTS \$ _____

TOTAL ESCROW DUE: \$ _____

APPROVAL FEES:

PRE-PRELIMINARY PLAT APPROVAL \$ 100.00

PRELIMINARY PLAT APPROVAL \$ 150.00

FINAL PLAT APPROVAL FEE (\$100.00 + \$5.00/LOT) \$ 110.00

FINAL PLAT SECTION FEE \$ ~~100.00~~

TOTAL APPROVAL FEES: \$ 360.00

RECREATION FEES:

1 LOTS @ ^{2,000.00}~~\$1,500.00~~ / LOT \$ 2000.00

TO BE DEDUCTED FROM ESCROW:

ESCROW POSTED: \$ _____

P.B. ENGINEER FEE \$ _____

P.B. ATTY. FEE \$ _____

MINUTES OF MEETING \$ _____

OTHER \$ _____

TOTAL DEDUCTION: \$ _____

REFUND: \$ _____

AMOUNT DUE: \$ _____

PERFORMANCE BOND AMOUNT \$ _____

INSPECTION FEE:

2% PRIVATE IMPROVEMENTS \$ _____

4% PUBLIC IMPROVEMENTS \$ _____

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2006

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LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #2030	PAID		300.00	
01/26/2005	P.B. ATTY.FEE	CHG	35.00		
01/26/2005	P.B. MINUTES	CHG	22.00		
06/08/2005	P.B. ATTY. FEE	CHG	35.00		
06/08/2005	P.B. MINUTES	CHG	22.00		
02/15/2006	P.B. ENGINEER FEE	CHG	522.80		
		TOTAL:	636.80	300.00	336.80

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2006

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LISTING OF PLANNING BOARD **FEE**
APPROVAL

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279
APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/28/2006	APPROVAL FEE	CHG	360.00		
			-----	-----	-----
		TOTAL:	360.00	0.00	360.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2006

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LISTING OF PLANNING BOARD **FEES**
RECREATION

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/28/2006	ONE LOT REC. FEE	CHG	2000.00		
			-----	-----	-----
		TOTAL:	2000.00	0.00	2000.00

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 19

FOR WORK DONE PRIOR TO: 02/14/2006

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	-----DOLLARS-----	
										BILLED	BALANCE
4-19	232501	07/07/04	TIME	MJE	WS ORR SUB	99.00	0.40	39.60			
4-19	240734	09/14/04	TIME	MM	FI ORR PERCS	99.00	1.50	148.50			
4-19	242642	10/19/04	TIME	MJE	MC TC/KEN L RE ORR SUB	99.00	0.30	29.70			
4-19	243676	11/03/04	TIME	MJE	WS ORR SUB	99.00	0.40	39.60			
								257.40			
4-19	243875	11/10/04			BILL 04-1266					-217.80	
										-217.80	
4-19	250055	01/25/05	TIME	MJE	MC ORR	99.00	0.60	59.40			
4-19	261430	05/18/05	TIME	MJE	WS ORR SUB	99.00	0.40	39.60			
4-19	263100	06/08/05	TIME	MJE	MM Orr Sub Cond APPL	99.00	0.10	9.90			
4-19	263453	06/08/05	TIME	MJE	MR ORR SUBDIV RVW	99.00	0.60	59.40			
								168.30			
4-19	264991	06/22/05			BILL 05-833					-168.30	
										-168.30	
4-19	276948	10/04/05	TIME	MJE	MC ORR OFFER NOTES-ZEN	99.00	0.40	39.60			
								39.60			
4-19	280115	11/09/05			BILL 05-1526					-79.20	
										-79.20	
4-19	288163	01/11/06	TIME	MJE	MC ORR SUB	115.00	0.50	57.50			
					TASK TOTAL			522.80		-465.30	
									0.00		57.50
					GRAND TOTAL			522.80		-465.30	
									0.00		57.50

PLANNING BOARD
TOWN OF NEW WINDSOR

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LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-19
NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279
APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #2030	PAID		300.00	
01/26/2005	P.B. ATTY.FEE	CHG	35.00		
01/26/2005	P.B. MINUTES	CHG	22.00		
06/08/2005	P.B. ATTY. FEE	CHG	35.00		
06/08/2005	P.B. MINUTES	CHG	22.00		
02/15/2006	P.B. ENGINEER FEE	CHG	522.80		
03/28/2006	REC. CK. #193	PAID		336.80	
		TOTAL:	636.80	636.80	0.00

To Close out escrow.

Thank you
@

JK
3/29/06

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/29/2006

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LISTING OF PLANNING BOARD **FEES**
RECREATION

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279
APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/28/2006	ONE LOT REC. FEE	CHG	2000.00		
03/28/2006	REC. CK. #192	PAID		2000.00	
		TOTAL:	2000.00	2000.00	0.00


3/20/06

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TOWN OF NEW WINDSOR

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LISTING OF PLANNING BOARD **FEES**
RECREATION

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/28/2006	ONE LOT REC. FEE	CHG	2000.00		
03/28/2006	REC. CK. #192	PAID		2000.00	
		TOTAL:	2000.00	2000.00	0.00

J. Zappalo

PLANNING BOARD
TOWN OF NEW WINDSOR

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LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #2030	PAID		300.00	
01/26/2005	P.B. ATTY.FEE	CHG	35.00		
01/26/2005	P.B. MINUTES	CHG	22.00		
06/08/2005	P.B. ATTY. FEE	CHG	35.00		
06/08/2005	P.B. MINUTES	CHG	22.00		
02/15/2006	P.B. ENGINEER FEE	CHG	522.80		
03/28/2006	REC. CK. #193	PAID		336.80	
		TOTAL:	636.80	636.80	0.00

A. Zappala

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#265-2006

03/29/2006

Baxter, Chrystal
505 Jackson Avenue
New Windsor, NY 12553

Received \$ 360.00 for Planning Board Fees, on 03/29/2006. Thank you for
stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PB# 04-19
approval. *See*

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/29/2006

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LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279
APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/28/2006	APPROVAL FEE	CHG	360.00		
03/28/2006	REC. CK. #191	PAID		360.00	
			-----	-----	-----
		TOTAL:	360.00	360.00	0.00



June 8, 2005

P.B. # 04-19

NEGATIVE DEC:

M) A S) S VOTE: A 5 N 0

CARRIED: Y ☒ N ☐

M)____S)____VOTE: A____N____

CARRIED: Y_____N_____

PUBLIC HEARING: **WAIVED:**_____ **CLOSED:**_____

M) _____ S) _____ VOTE: A _____ N _____ SCHEDULE P.H.: Y _____ N _____

SEND TO O.C. PLANNING: Y_____

SEND TO DEPT. OF TRANSPORTATION: Y__

REFER TO Z.B.A.: M)_____ S)_____ VOTE: A_____ N_____

RETURN TO WORK SHOP: Y__N__

APPROVAL:

M) A S) 5 VOTE: A 5 N 0 APPROVED: 6-8-05

NEED NEW PLANS: Y ☒ N ☐

CONDITIONS – NOTES:

Correct Bulk Tables

Highway Dept has approved - Let in writing
offers of Dedication

Pay Fees



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #04-19

DATE RECEIVED: 06-03-05 TAX MAP #32-2-77

PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE 06-08-05 PLANNING BOARD
MEETING.

RECEIVED

THE MAPS AND/OR PLANS FOR:

JUN 06 2005

JOYCE ORR LOT LINE CHANGE

Applicant or Project Name

N.W. HIGHWAY DEPT.

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE XXX,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: _____

☐ DISAPPROVED:

Notes: _____

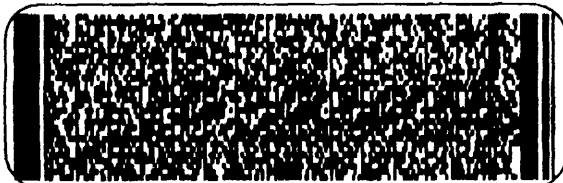
Signature: _____

Donny J. Kurland
Reviewed by

6/2/05
date



**Combined Real Estate Transfer Tax Return,
Credit Line Mortgage Certificate, and
Certification of Exemption from the
Payment of Estimated Personal Income Tax**



COPY

See instructions (TP-584-1) before completing this form. Please print or type.

Schedule A — Information relating to conveyance

Grantor/Transferor		Name (if individual; last, first, middle initial)		Social security number	
<input checked="" type="checkbox"/> Individual		JOYCE C. ORR		132 18 90	
<input type="checkbox"/> Corporation		Mailing address		Social security number	
<input type="checkbox"/> Partnership		770 Jackson Avenue			
<input type="checkbox"/> Estate/Trust		City	State	ZIP code	Federal employer ident. nu
<input type="checkbox"/> Other		New Windsor	New York	12553	
Grantee/Transferee		Name (if individual; last, first, middle initial)		Social security number	
<input type="checkbox"/> Individual		TOWN OF NEW WINDSOR			
<input type="checkbox"/> Corporation		Mailing address		Social security number	
<input type="checkbox"/> Partnership		555 Union Avenue			
<input type="checkbox"/> Estate/Trust		City	State	ZIP code	Federal employer ident. nu
<input checked="" type="checkbox"/> Other		New Windsor	New York	12553	

Location and description of property conveyed

Tax map designation			Address	City/village	Town	County
Section	Block	Lot	774 Jackson Avenue		New Windsor	Orange
P/O 32	2	76 and 77				

Type of property conveyed (check applicable box)

1 <input type="checkbox"/> One- to three-family house	5 <input type="checkbox"/> Commercial/Industrial	Date of conveyance <table border="1"> <tr> <td>9</td> <td>2</td> <td>05</td> </tr> <tr> <td align="center">month</td> <td align="center">day</td> <td align="center">year</td> </tr> </table>	9	2	05	month	day	year	Percentage of real property conveyed which is residential real property <u>100</u> % <i>(see instructions)</i>
9	2		05						
month	day		year						
2 <input type="checkbox"/> Residential cooperative	6 <input type="checkbox"/> Apartment building								
3 <input type="checkbox"/> Residential condominium	7 <input type="checkbox"/> Office building								
4 <input checked="" type="checkbox"/> Vacant land	8 <input type="checkbox"/> Other _____								

Condition of conveyance (check all that apply)

- | | | |
|---|--|--|
| a. <input checked="" type="checkbox"/> Conveyance of fee interest | f. <input type="checkbox"/> Conveyance which consists of a mere change of identity or form of ownership or organization (attach Form TP-584.1, Schedule F) | i. <input type="checkbox"/> Option assignment or surrender |
| b. <input type="checkbox"/> Acquisition of a controlling interest (state percentage acquired _____ %) | g. <input type="checkbox"/> Conveyance for which credit for tax previously paid will be claimed (attach Form TP-584.1, Schedule G) | m. <input type="checkbox"/> Leasehold assignment or surrender |
| c. <input type="checkbox"/> Transfer of a controlling interest (state percentage transferred _____ %) | h. <input type="checkbox"/> Conveyance of cooperative apartment(s) | n. <input type="checkbox"/> Leasehold grant |
| d. <input type="checkbox"/> Conveyance to cooperative housing corporation | i. <input type="checkbox"/> Syndication | o. <input type="checkbox"/> Conveyance of an easement |
| e. <input type="checkbox"/> Conveyance pursuant to or in lieu of foreclosure or enforcement of security interest (attach Form TP-584.1, Schedule E) | j. <input type="checkbox"/> Conveyance of air rights or development rights | p. <input type="checkbox"/> Conveyance for which exemption from transfer tax claimed (complete Schedule B, Part III) |
| | k. <input type="checkbox"/> Contract assignment | q. <input type="checkbox"/> Conveyance of property partly within and partly outside the state |
| | | r. <input type="checkbox"/> Other (describe) _____ |

For recording officer's use	Amount received	Date received	Transaction number
	Schedule B, Part I \$		
	Schedule B, Part II \$		

Schedule B — Real estate transfer tax return (Tax Law, Article 31)**Part I — Computation of tax due**

- 1 Enter amount of consideration for the conveyance (if you are claiming a total exemption from tax, check the exemption claimed box, enter consideration and proceed to Part III) ☐ Exemption claimed
- 2 Continuing lien deduction (see instructions if property is taken subject to mortgage or lien)
- 3 Taxable consideration (subtract line 2 from line 1)
- 4 Tax: \$2.50 for each \$500, or fractional part thereof, of consideration on line 3
- 5 Amount of credit claimed (see instructions and attach Form TP-584.1, Schedule G)
- 6 Total tax due* (subtract line 5 from line 4)

1.		0	00
2.		0	
3.		0	00
4.		0	00
5.		0	00
6.		0	00

Part II — Computation of additional tax due on the conveyance of residential real property for \$1 million or more

- 1 Enter amount of consideration for conveyance (from Part I, line 1)
- 2 Taxable consideration (multiply line 1 by the percentage of the premises which is residential real property, as shown in Schedule A)
- 3 Total additional transfer tax due* (multiply line 2 by 1% (.01))

1.		
2.		
3.		

Part III — Explanation of exemption claimed on Part I, line 1 (check any boxes that apply)

The conveyance of real property is exempt from the real estate transfer tax for the following reason:

- a. Conveyance is to the United Nations, the United States of America, the state of New York, or any of their instrumentalities, agencies, or political subdivisions (or any public corporation, including a public corporation created pursuant to agreement or compact with another state or Canada) a ☐
- b. Conveyance is to secure a debt or other obligation b ☐
- c. Conveyance is without additional consideration to confirm, correct, modify, or supplement a prior conveyance c ☐
- d. Conveyance of real property is without consideration and not in connection with a sale, including conveyances conveying realty as bona fide gifts d ☐
- e. Conveyance is given in connection with a tax sale e ☐
- f. Conveyance is a mere change of identity or form of ownership or organization where there is no change in beneficial ownership. (This exemption cannot be claimed for a conveyance to a cooperative housing corporation of real property comprising the cooperative dwelling or dwellings.) Attach Form TP-584.1, Schedule F f ☐
- g. Conveyance consists of deed of partition g ☐
- h. Conveyance is given pursuant to the federal Bankruptcy Act h ☐
- i. Conveyance consists of the execution of a contract to sell real property, without the use or occupancy of such property, or the granting of an option to purchase real property, without the use or occupancy of such property i ☐
- j. Conveyance of an option or contract to purchase real property with the use or occupancy of such property where the consideration is less than \$200,000 and such property was used solely by the grantor as the grantor's personal residence and consists of a one-, two-, or three-family house, an individual residential condominium unit, or the sale of stock in a cooperative housing corporation in connection with the grant or transfer of a proprietary leasehold covering an individual residential cooperative apartment j ☐
- k. Conveyance is not a conveyance within the meaning of Tax Law, Article 31, section 1401(e) (attach documents supporting such claim) k ☐
- l. Other (attach explanation) l ☐

*Please make check(s) payable to the county clerk where the recording is to take place. If the recording is to take place in New York City, make check(s) payable to the **NYC Department of Finance**. If a recording is not required, send this return and your check(s) made payable to the **NYS Department of Taxation and Finance**, directly to the NYS Tax Department, RETT Return Processing, PO Box 5045, Albany NY 12205-5045.

Schedule C — Credit Line Mortgage Certificate (Tax Law, Article 11)

Complete the following only if the interest being transferred is a fee simple interest.

I (we) certify that: (check the appropriate box)

1. ☒ The real property being sold or transferred is not subject to an outstanding credit line mortgage.
2. ☐ The real property being sold or transferred is subject to an outstanding credit line mortgage. However, an exemption from the tax is claimed for the following reason:
 - ☐ The transfer of real property is a transfer of a fee simple interest to a person or persons who held a fee simple interest in the real property (whether as a joint tenant, a tenant in common or otherwise) immediately before the transfer.
 - ☐ The transfer of real property is (A) to a person or persons related by blood, marriage or adoption to the original obligor or to one or more of the original obligors or (B) to a person or entity where 50% or more of the beneficial interest in such real property after the transfer is held by the transferor or such related person or persons (as in the case of a transfer to a trustee for the benefit of a minor or the transfer to a trust for the benefit of the transferor).
 - ☐ The transfer of real property is a transfer to a trustee in bankruptcy, a receiver, assignee, or other officer of a court.
 - ☐ The maximum principal amount secured by the credit line mortgage is \$3,000,000 or more, and the real property being sold or transferred is not principally improved nor will it be improved by a one- to six-family owner-occupied residence or dwelling.

Please note: for purposes of determining whether the maximum principal amount secured is \$3,000,000 or more as described above, the amounts secured by two or more credit line mortgages may be aggregated under certain circumstances. See TSB-M-96(6)-R for more information regarding these aggregation requirements.

☐ Other (attach detailed explanation).

3. ☐ The real property being transferred is presently subject to an outstanding credit line mortgage. However, no tax is due for the following reason:
 - ☐ A certificate of discharge of the credit line mortgage is being offered at the time of recording the deed.
 - ☐ A check has been drawn payable for transmission to the credit line mortgagee or his agent for the balance due, and a satisfaction of such mortgage will be recorded as soon as it is available.
4. ☐ The real property being transferred is subject to an outstanding credit line mortgage recorded in _____ (insert liber and page or reel or other identification of the mortgage). The maximum principal amount of debt or obligation secured by the mortgage is _____. No exemption from tax is claimed and the tax of _____ is being paid herewith. (Make check payable to county clerk where deed will be recorded or, if the recording is to take place in New York City, make check payable to the NYC Department of Finance.)

Signature (both the grantor(s) and grantee(s) must sign)

The undersigned certify that the above information contained in schedules A, B, and C, including any return, certification, schedule, or attachment, is to the best of his/her knowledge, true and complete.

Joyce C. Orr
 JOYCE C. ORR

Grantor signature

Title

Grantee signature

Title

Grantor signature

Title

Grantee signature

Title

Reminder: Did you complete all of the required information in Schedules A, B, and C? Are you required to complete Schedule D? If you checked e, f, or g in Schedule A, did you complete Form TP-584.1? Have you attached your check(s) made payable to the county clerk where recording will take place or, if the recording is in New York City, to the NYC Department of Finance? If no recording is required, send your check(s), made payable to the Department of Taxation and Finance, directly to the NYS Tax Department, RETT Return Processing, PO Box 5045, Albany NY 12205-5045.

Schedule D - Certification of exemption from the payment of estimated personal income tax (Tax Law, Article 22, section 663)

Complete the following only if a fee simple interest is being transferred by an individual or estate or trust.

Part I - New York State residents

If you are a New York State resident transferor(s)/seller(s) listed in Schedule A of Form TP-584 (or an attachment to Form TP-584), you must sign the certification below. If one or more transferors/sellers of the property is a resident of New York State, each resident transferor/seller must sign in the space provided. If more space is needed, please photocopy this Schedule D and submit as many schedules as necessary to accommodate all resident transferors/sellers.

Certification of resident transferor(s)/seller(s)

This is to certify that at the time of the sale or transfer of the real property, the transferor(s)/seller(s) as signed below was a resident of New York State, and therefore is not required to pay estimated personal income tax under Tax Law, section 663(a) upon the sale or transfer of this property.

Signature <i>Joyce C. Orr</i>	Print full name JOYCE C. ORR	Date 9/2/05
Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date

Note: A resident of New York State may still be required to pay estimated tax under Tax Law, section 685(c), but not as a condition of recording a deed.

Part II - Nonresidents of New York State

If you are a nonresident of New York State listed as a transferor/seller in Schedule A of Form TP-584 (or an attachment to Form TP-584) but are not required to pay estimated tax because one of the exemptions below applies under Tax Law, section 663(c), check the box of the appropriate exemption below. If any one of the exemptions below applies to the transferor(s)/seller(s), that transferor(s)/seller(s) is not required to pay estimated personal income tax to New York State under Tax Law, section 663. Each nonresident transferor/seller who qualifies under one of the exemptions below must sign in the space provided. If more space is needed, please photocopy this Schedule D and submit as many schedules as necessary to accommodate all nonresident transferors/sellers.

If none of these exemption statements apply, you must use Form IT-2663, *Nonresident Real Property Estimated Income Tax Payment Form*, and pay the full amount of estimated tax, if any, to the recording officer at the time the deed is presented for recording.

Exemption for nonresident transferor(s)/seller(s)

This is to certify that at the time of the sale or transfer of the real property, the transferor(s)/seller(s) (grantor) of this property was a nonresident of New York State, but is not required to pay estimated tax under Tax Law, section 663 due to one of the following exemptions:

- ☐ The property being sold or transferred qualifies in total as the transferor's/seller's principal residence (within the meaning of Internal Revenue Code, section 121) from _____ Date _____ to _____ Date _____ (see instructions).
- ☐ The transferor/seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure, or in lieu of foreclosure with no additional consideration.
- ☐ The transferor or transferee is an agency or authority of the United States of America, an agency or authority of the state of New York, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.

Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date

ORANGE COUNTY CLERK'S OFFICE RECORDING PAGE

THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE



COPY

TYPE NAME(S) OF PARTY(S) TO DOCUMENT: BLACK INK

JOYCE C. ORR, 770 Jackson Avenue, New Windsor,
New York 12553

TO

TOWN OF NEW WINDSOR, 555 Union Avenue, New
Windsor, New York, 12553

SECTION P/O 32 BLOCK 2 LOT 76 and 77

RECORD AND RETURN TO:
(Name and Address)

THIS IS PAGE ONE OF THE RECORDING
ATTACH THIS SHEET TO THE FIRST PAGE OF
EACH RECORDED INSTRUMENT ONLY

JAMES CASAZZA
19 South Street
Washingtonville, New York 10992

DO NOT WRITE BELOW THIS LINE

INSTRUMENT TYPE: DEED MORTGAGE SATISFACTION ASSIGNMENT OTHER

PROPERTY LOCATION

___ 2089 BLOOMING GROVE (TN)
___ 2001 WASHINGTONVILLE (VLG)
___ 2289 CHESTER (TN)
___ 2201 CHESTER (VLG)
___ 2489 CORNWALL (TN)
___ 2401 CORNWALL (VLG)
___ 2600 CRAWFORD (TN)
___ 2800 DEERPARK (TN)
___ 3089 GOSHEN (TN)
___ 3001 GOSHEN (VLG)
___ 3003 FLORIDA (VLG)
___ 3005 CHESTER (VLG)
___ 3200 GREENVILLE (TN)
___ 3489 HAMPTONBURGH (TN)
___ 3401 MAYBROOK (VLG)
___ 3689 HIGHLANDS (TN)
___ 3601 HIGHLAND FALLS (VLG)
___ 3889 MINISINK (TN)
___ 3801 UNIONVILLE (VLG)
___ 4089 MONROE (TN)
___ 4001 MONROE (VLG)
___ 4003 HARRIMAN (VLG)
___ 4005 KIRYAS JOEL (VLG)

___ 4289 MONTGOMERY (TN)
___ 4201 MAYBROOK (VLG)
___ 4203 MONTGOMERY (VLG)
___ 4205 WALDEN (VLG)
___ 4489 MOUNT HOPE (TN)
___ 4401 OTISVILLE (VLG)
___ 4600 NEWBURGH (TN)
___ 4800 NEW WINDSOR (TN)
___ 5089 TUXEDO (TN)
___ 5001 TUXEDO PARK (VLG)
___ 5200 WALLKILL (TN)
___ 5489 WARWICK (TN)
___ 5401 FLORIDA (VLG)
___ 5403 GREENWOOD LAKE (VLG)
___ 5405 WARWICK (VLG)
___ 5600 WAWAYANDA (TN)
___ 5889 WOODBURY (TN)
___ 5801 HARRIMAN (VLG)

CITIES

___ 0900 MIDDLETOWN
___ 1100 NEWBURGH
___ 1300 PORT JERVIS
___ 9999 HOLD

NO. PAGES CROSS REF
CERT. COPY ADD'L X-REF
MAP # PGS.

PAYMENT TYPE: CHECK
CASH
CHARGE
NO FEE

CONSIDERATION \$
TAX EXEMPT

MORTGAGE AMT \$
DATE

MORTGAGE TAX TYPE:

___ (A) COMMERCIAL/FULL 1%
___ (B) 1 OR 2 FAMILY
___ (C) UNDER \$10,000
___ (E) EXEMPT
___ (F) 3 TO 6 UNITS
___ (I) NAT. PERSON/CR. UNION
___ (J) NAT. PER-CR.UN/1 OR 2
___ (K) CONDO

Donna L. Benson

DONNA L. BENSON
Orange County Clerk

RECEIVED FROM:

**BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR
(INDIVIDUAL)**

STATUTORY FORM C

**THIS IS A LEGALLY BINDING INSTRUMENT. IF NOT FULLY UNDERSTOOD, WE
RECOMMEND ALL PARTIES TO THE INSTRUMENT CONSULT AN ATTORNEY
BEFORE SIGNING.**

THIS INDENTURE, made the September 2nd, 2005,

BETWEEN

JOYCE C. ORR

770 Jackson Avenue
New Windsor, New York 12553

party of the first part, and

TOWN OF NEW WINDSOR

555 Union Avenue
New Windsor, New York 12553

party of the second part:

WITNESSETH, that the party of the first part, in consideration of one dollar and other good and valuable consideration, lawful money of the United States, paid by the party of the second part, does hereby grant and release unto the party of the second part, their heirs and assigns forever.

ALL THAT CERTAIN LOT OF LAND situate, lying and being in the Town of New Windsor, County of Orange, State of New York, is bounded and described as follows:

BEGINNING at the intersection of the northwesterly corner of the lands of Mink and the centerline of Jackson Avenue, thence along the centerline of said road the following three (3) courses:

- (1) North 8 degrees 34' 00" East 158.10'
- (2) North 3 degrees 30' 04" East 205.57'
- (3) North 8 degrees 31' 34" East 85.17'

to a point at the intersection of lands of Guerino; thence leaving said road and traveling along the lands of Guerino South 59 degrees 03' 27" East 27.04' to a point; thence leaving said line and traveling through the lands of Orr the following three (3) courses:

- (1) South 8 degrees 31' 34" West 73.72'
- (2) South 3 degrees 30' 04" West 205.60'
- (3) South 8 degrees 34' 00" West 168.94'

to a point along the lands of Mink, thence along said line North 60 degrees 10' 00" West 26.83' to the point and place of beginning.

CONTAINING 0.26 acres of land more or less.

BEING part of the same premises described in a deed dated February 17, 1984 from Adah H. Van Amburgh, Executrix of the Estate of John J.P. Powles to Wallace B. Orr and Joyce C. Orr and recorded in the Orange County Clerk's Office on February 21, 1984 in Liber 2276 of Deeds at Page 473.

ALSO BEING part of the same premises described in a deed dated May 23rd, 2001 from the County of Orange to Wallace B. Orr and Joyce C. Orr and recorded in the Orange County Clerk's Office on May 25, 2001 in Liber 5534 of Deeds at Page 314.

WALLACE B. ORR died a resident of Orange County, State of New York on July 31, 2002.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, their heirs and assigns forever. And the party of the first part covenants that he has not done or suffered anything whereby the said premises have been encumbered in any way whatever.

IN WITNESS WHEREOF, the party of the first part has hereunto set his hand and seal the day and year first above written.


JOYCE C. ORR

Acknowledgment by a Person Within New York State (RPL § 309-a)

STATE OF NEW YORK)
) ss.:
COUNTY OF ORANGE)

On the 2nd day of September, 2005, before me, the undersigned, personally appeared **JOYCE C. ORR**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that she executed the same in her capacity(ies), and that by her signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


NOTARY PUBLIC

JAMES CASAZZA
NOTARY PUBLIC, State of New York
No. 4874875
Resident In And For Orange County
Commission Expires April 30, 2006

L Forest

Joyce Orr
Roadway Dedication Legal Description

Jackson Avenue
Town of New Windsor
Orange County, New York

That certain lot of land situate, lying and being in the Town of New Windsor, Orange County, New York, is bounded and described as follows:

Beginning at the intersection of the northwesterly corner of the lands of Giacco and the centerline of Jackson Avenue; Thence along the centerline of said road the following (3) courses: (1) North 8°34'00" East 158.10', (2) North 3°30'04" East 205.57', (3) North 8°31'34" East 85.17' to a point at the intersection of lands of Guerino; Thence leaving said road and traveling along the lands of Guerino South 59°03'27" East 27.04' to a point; Thence leaving said line and traveling through the lands of Orr the following (3) courses: (1) South 8°31'34" West 73.72', (2) South 3°30'04" West 205.60', (3) South 8°34'00" West 168.94 to a point along the lands of Giacco; Thence along said line North 60°10'00" West 26.83' to the point and place of beginning.

Containing 0.26 acres of land more or less.

06/18/05

Joyce Orr
Ingress / Egress Easement
Legal Description

Jackson Avenue
Town of New Windsor
Orange County, New York

That certain lot of land situate, lying and being in the Town of New Windsor, Orange County, New York, is bounded and described as follows:

From the intersection of the northwesterly corner of the lands of Giacco and the centerline of Jackson Avenue; Thence along the centerline of said road the following (2) courses: (1) North 8°34'00" East 158.10', (2) North 3°30'04" East 131.96' to the point and place of beginning; Thence along the centerline of said road North 3°30'04" East 39.05'; Thence leaving said road and traveling through the lands of Orr the following (2) courses: (1) South 27°18'32" East 111.37', (2) South 12°11'11" East 106.01' to a point along the lot line of SBL# 32-2-76; Thence along said lot line North 58°05'48" West 27.84' to a point; Thence leaving said lot line and traveling through the lands of Orr the following (2) courses: (1) North 12°11'11" West 83.98', (2) North 27°18'32" West 75.18' to the point and place of beginning.

Containing 0.09 acres of land more or less.

06/18/05



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: JOYCE ORR MINOR SUBDIVISION
(In form of Lot Line Change)
PROJECT LOCATION: JACKSON AVENUE (EAST SIDE)
SECTION 32 - BLOCK 2 - LOTS 76 & 77
PROJECT NUMBER: 04-19
DATE: 8 JUNE 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE LANDS
INTO TWO (2) SINGLE-FAMILY RESIDENTIAL LOTS. THE PLAN
WAS REVIEWED PREVIOUSLY REVIEWED AT THE 26 JANUARY
2005 PLANNING BOARD MEETING.

1. The application is before the board requesting conditional final approval. Previously requested corrections have been addressed, although some corrections are still needed on the final plan before stamping (as follows):
 - The bulk table needs some minor corrections.
 - The plans include a detail for erosion control blankets, provide a table indicating what slopes they are required for. I suggest the actual location they are required (at minimum) be *shown* on the plan.
 - The plan provides guide rail details. The location where they are required, at minimum, should be *shown* on the plan.
 - Silt fence details are provided. The location where they are required, at minimum, should be *shown* on the plan.
2. An approval letter from the Highway Superintendent is required, especially given the angular access and slope to the Town Road.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

3. The Planning Board already assumed the position of Lead Agency under the SEQRA review process, and waived the requirement for a public hearing.
4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
5. If the Board believes a conditional approval is appropriate, conditions should be:
 - Corrections as noted in the Planning Board Engineer's comment #1.
 - Obtain Highway Superintendent Final Approval (*if not already done*)
 - Submit the descriptions and Offers of Dedication to the Town Attorney, for the dedication strip along Jackson Avenue.
 - Payment of all fees.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

ME/st
NW04-19-08June05.doc

JOYCE ORR LOT LINE CHANGE (04-19)

Mr. Ken Lytle appeared before the board for this proposal.

MR. PETRO: Next is Joyce Orr lot line change, Jackson Avenue. The application proposes the subdivision of the lands into two single family residential lots. The plan was reviewed previously at the 26 January, 2005 planning board meeting. You're requesting conditional final approval, previous corrections have been addressed, corrections are still needed on the final plan for stamping, the bulk table needs some minor corrections. How can that be? What is it, Mark?

MR. EDSALL: I'll have to catch up with you.

MR. PETRO: Bulk table needs some minor corrections.

MR. EDSALL: I think they were just some provided numbers like the width for lot 76 I think the number needed correction, it's minor corrections.

MR. PETRO: The plan includes detail for erosion control blankets provided a table indicated what slopes they're required for, I suggest the actual location that they're required for at the minimum be shown on the plan, plan provides guardrail details, location where they're required at a minimum should be shown on the plan and silt fence should be shown on the plan, approval letter from highway superintendent is required.

MS. MASON: Under review.

MR. PETRO: I spoke to him today, he said that it was approved.

MR. EDSALL: Jim, on the locations it's not that there is a problem with the plan, the problem is with the

contractors that do the work, a lot of times if they don't have some guidance as to the minimum locations for silt fence or where the blanketing needs to be for erosion they just don't do it so what I'm suggesting you add it to the plan and Mike's guys when they go out there will have some indication if they're doing their job or not.

MR. PETRO: We already assumed position of lead agency and waived the requirement for the public hearing being it's a two lot, it's actually created one new lot, is that correct?

MR. LYTTLE: That's right, lot line change.

MR. EDSALL: Lot line change, it's two lots going to two uniform spaced lots.

MR. PETRO: There's no wetlands on this site there?

MR. LYTTLE: No.

MR. PETRO: I'll entertain a motion for negative dec.

MR. ARGENIO: I'll make it.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec for the Joyce Orr minor subdivision on Jackson Avenue. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. KARNAVEZOS	AYE
MR. MASON	AYE
MR. ARGENIO	AYE

MR. PETRO

AYE

MR. PETRO: If the board believes a conditional approval is appropriate, condition should be, corrections noted on the plan, we just talked about them, you have to have them implemented on the plan, highway superintendent I'm going to need it in writing here although I have a verbal from him today he will have to have it in writing, I will have to have it here, you submit the description of offer of dedication to the Town Attorney for the dedication strip along Jackson Avenue which is procedure and of course payment of all fees. Actually should put payment of all fees first, I work for the Town. Mark, anything other than what we discussed, do you have any reason that we can't do a conditional final approval?

MR. EDSALL: No, I think that--

MR. PETRO: We've seen it a number of times.

MR. EDSALL: Just a matter of cleaning up the final plan.

MR. PETRO: Very minor in nature, you have to correct what we have.

MR. ARGENIO: I'll make a motion we grant final approval to Joyce Orr minor subdivision subject to the four bullets that the chairman read in a minute ago, corrections on the bulk table, approval from Mr. Kroll, description of offer of dedication from the Town Attorney, payment of all fees.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant conditional final approval to the Joyce Orr minor subdivision with the subject-tos that Mr. Argenio just read in, I'm not

going to read them again. Is there any further discussion from the any of the board members?

MR. SCHLESINGER: I have a question on the general notes existing spacing is non-conforming to wells and septic as noted, monitor the water quality contaminations noted alternate well location shall be used.

MR. EDSALL: Spacing is not something that's part of the proposal because it's existing well, septic and house, I picked it up as part of my review and basically said I don't know that we can compel them to change something that exists if it's not part of the approval but I need them to reserve a location so if there's a problem it shows an alternate.

MR. PETRO: Any further discussions? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. KARNAVEZOS	AYE
MR. MASON	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Thank you.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/08/2005

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	01/10/2005	MUNICIPAL HIGHWAY	01/25/2005	UNDER REVIEW
ORIG	01/10/2005	MUNICIPAL WATER	/ /	
ORIG	01/10/2005	MUNICIPAL SEWER	/ /	
ORIG	01/10/2005	MUNICIPAL FIRE	01/05/2005	APPROVED
ORIG	01/10/2005	NYS DOT	/ /	
ORIG	01/10/2005	E911 COORDINATOR	01/11/2005	APPROVED

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/08/2005

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/07/2005	EAF SUBMITTED	/ /	WITH APPLIC
ORIG	02/07/2005	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/07/2005	LEAD AGENCY DECLARED	01/26/2005	TOOK LA
ORIG	02/07/2005	DECLARATION (POS/NEG)	/ /	
ORIG	02/07/2005	SCHEDULE PUBLIC HEARING	/ /	
ORIG	02/07/2005	PUBLIC HEARING HELD	/ /	
ORIG	02/07/2005	WAIVE PUBLIC HEARING	01/26/2005	WAIVE PH
ORIG	02/07/2005	PRELIMINARY APPROVAL	/ /	
ORIG	02/07/2005		/ /	
ORIG	02/07/2005	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/08/2005

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: PERC

STATUS [Open, Withd]
O [Disap, Appr]

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
01/26/2005	P.B. APPEARANCE	LA: WVE PH RETURN
	. MOVE LOCATION OF ALTERNATE WELL - ADDRESS MARK'S COMMENTS -	
	. RETURN TO WORK SHOP	
07/07/2004	WORK SHOP APPEARANCE	SET UP FILE FOR PERC
10/29/2003	WORK SHOP APPEARANCE	RETURN TO WS



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

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MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

☐ Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: 04-19

WORK SESSION DATE: 5-18-05 PROJECT: NEW OLD X

REAPPEARANCE AT W/S REQUESTED: NO RESUB. REQ'D: new plan

PROJECT NAME: Orr Sub.

REPRESENTATIVES PRESENT: Ken Lytle

MUNICIPAL REPS PRESENT: BLDG INSP. ENGINEER X FIRE INSP. PLANNER OTHER

ITEMS DISCUSSED:

- need OK from HLC
for driveway layout

- offer of ded 25'
conditions of
approval.

Ready for cons app

STND CHECKLIST:

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)
LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

PROJECT
TYPE

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral: Y X N

Ready For Meeting X Y N

Recommended Mtg Date next avail



RESULTS OF P.B. MEETING OF: January 26, 2005

P.B. # 04-19

NEGATIVE DEC:

M)____S)____VOTE: A____N____

CARRIED: Y_____N_____

CARRIED: Y ✓ N

WAIVED: ✓ CLOSED: _____

M) K S) M VOTE: A 5 N 0 SCHEDULE P.H.: Y N ✓

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M)____S)____ VOTE: A____N____

RETURN TO WORK SHOP: Y__N__

M) S) VOTE: A N APPROVED:

NEED NEW PLANS: Y____N____

Move location of Alternate well
Address Mark's comments

Return to W.S.

REGULAR ITEMS:

JOYCE ORR LOT LINE CHANGE (04-19)

Mr. Ken Lytle appeared before the board for this proposal.

MR. PETRO: Application proposes subdivision of the lands into two single family residential lots. Application actually for a lot line change, not a conventional subdivision. Plan must clearly depict lot lines, lot lines to be removed and proposed lot lines, bulk table should be amended to provide. The driveway slopes should be indicated and profile created for lot 77. Complies with the maximum 15 percent slopes, should be verified. Proposed well for lot number 76 appears too close to the septic depicted on the adjoining lot. What is it, Mike, 100 foot separation? So you're not going to move the well, is that a proposed well or is that an existing well?

MR. LYTLE: That's an existing well and put some alternate location and we put some notes that Mark and I discussed.

MR. PETRO: That problem is going to go away.

MR. EDSALL: Alternate is a little too close, they have to move the alternate so it has the minimum 200.

MR. PETRO: Why don't you tell us what you want to do.

MR. LYTLE: Basically, it's an existing very small 15,000 square foot lot, it's non-conforming and we're looking to do a lot line change between their and her adjoining parcel making them two conforming lots and we have actually gone out, we've done deep holes, perc holes, met with Mark out there and that's what we're proposing.

MR. PETRO: Show me on the plan your lines that you want to remove and add, remove that line?

MR. LYTLE: Making one small lot and creating one new lot right here, moving this line out to here making actually one lot over to here and one remaining lot here.

MR. PETRO: I got you. So you're removing that one small line and adding one large line to create the lot?

MR. LYTLE: That's correct.

MR. PETRO: And the little bit that you're leaving the road frontage for the second lot?

MR. LYTLE: That's correct, yeah.

MR. PETRO: What is it, 100 feet?

MR. LYTLE: I believe it's 100 feet, yeah, 70 feet, sorry.

MR. ARGENIO: And the access for the rear lot is going to be through an easement through the other lot?

MR. LYTLE: That's correct, we actually provided for an easement to use our existing driveway through the newly created lot.

MR. SCHLESINGER: But you just asked him about the road frontage?

MR. PETRO: Yeah, if you wanted to, you could put it there.

MR. ARGENIO: It would be too steep.

MR. LYTLE: That's why we had to do it that way, it's too steep.

MR. PETRO: Mark, he has some cleaning up to do on the plans.

MR. EDSALL: This is really the first review we've done so it's, I tried to get everything covered so they could make one bulk correction and then get it back in. Do we have anything from Mr. Kroll on this one?

MR. PETRO: Under review. I'll entertain a motion for lead agency.

MR. ARGENIO: So moved.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare lead agency under the SEQRA review process for the Joyce Orr lot line change on Jackson Avenue. Any further discussion? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Let's discuss a public hearing, gentlemen, does anybody feel that we need a public hearing to change this line and make a bigger lot?

MR. KARNAVEZOS: Make a motion we waive the public hearing.

MR. MASON: Second it.

MR. PETRO: Motion has been made and seconded that the

January 26, 2005

5

New Windsor Planning Board waive the public hearing under its discretionary judgment for the Joyce Orr lot line change on Jackson Avenue. Any further discussion? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Why don't you clean some of these comments up? Conceptually, nobody has a problem and we'll see you at the next meeting.

MR. LYTLE: Thank you. Have a good night.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: JOYCE ORR MINOR SUBDIVISION
(In form of Lot Line Change)
PROJECT LOCATION: JACKSON AVENUE (EAST SIDE)
SECTION 32 – BLOCK 2 – LOTS 76 & 77
PROJECT NUMBER: 04-19
DATE: 26 JANUARY 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE LANDS
INTO TWO (2) SINGLE-FAMILY RESIDENTIAL LOTS. THE PLAN
WAS REVIEWED ON A CONCEPT BASIS ONLY.

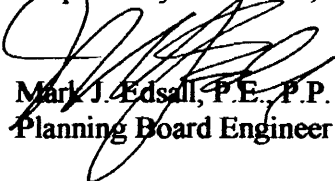
1. The application is actually for a lot line change, not a conventional subdivision.
 - The plan must clearly depict existing lot lines, noting “Lot lines to be removed” and “proposed lot lines”.
 - The bulk tables should be corrected to provide “existing” and “proposed” values for each lot (i.e. before and after lot line change)
 - A driveway slope should be indicated, and a profile created for Lot #77. Compliance with maximum 15% slope shall be verified.
 - Side slopes for Lot #77 driveway is nearly 1:1 slope. Stabilization should be defined. Is a guide rail or other safety element proposed, given the 16+ foot drop?
 - The proposed well for Lot #76 appears too close to the septic depicted on the adjoining lot.
 - Change approval box title to “Planning Board Approval”.
 - The applicant should coordinate the 911 address numbering with the Fire Inspector’s office.

REGIONAL OFFICES

- 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

2. I have reviewed the sanitary system design and information shown on the plans. Some corrections and additional information is needed.
- The sanitary system (box) depicted on sheet 1 should be removed, since a specific layout for laterals is shown in another location.
 - The field size has been made conservative (over-designed) which provides a safety factor. I have no problem with this, but it appears that they have unnecessarily added a dosing chamber into the system.
 - The slope across the system exceeds 15%, which requires a site specific design to obtain the 15%. Is grading or fill proposed (the design table says 18" fill, but this must be limited to the lower area, or the same slope will result). Where is the shallow trench system proposed for? The details show a shallow system and a standard system, but no indication is made as to what applies where. Is 18" fill really needed? The design plan must *design* the system.
 - If fill is proposed on the sanitary area, it should be depicted on the plan.
3. The existing driveway to Lot #76 is angular to South Jackson Avenue. The proposed drive is similarly depicted. Normally, access at close to a 90-degree angle is desired. Approval for driveways is required from Town Highway Superintendent.
4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
5. The Planning Board should determine if a Public Hearing will be necessary for this minor subdivision (in form of lot line change), or if same can be waived per Section 257-13 (A) of the Subdivision Regulations.
6. The applicant should submit the descriptions and Offers of Dedication to the Town Attorney, for the strip along Jackson Avenue.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-19-26Jan05.doc

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/24/2004

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-19

NAME: 32-2-77 JOYCE ORR LOT LINE CHG PA2003-1279

APPLICANT: JOYCE ORR

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #2030	PAID		300.00	
		TOTAL:	0.00	300.00	-300.00

His
9/1/09

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#898-2004

08/31/2004

Zen Design Consultants, Inc. *#P.B. 04-19*

Received \$ 50.00 for Planning Board Fees, on 08/31/2004. Thank you for
stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk



TOWN OF NEW WINDSOR

TOWN CLERK'S OFFICE
555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4611
Fax: (845) 563-4670

cc: P/Bd

RECEIVED

JAN 26 2005

TOWN CLERK'S OFFICE

REQUEST FOR PUBLIC RECORDS

Date: JAN 26, 2005
Name: BILL STEIDLE
Address: 575 JACKSON AVE
NEW WINDSOR
Phone: (845) 564-4111
Representing: SELF

Please specify:

- Property location (street address or section, block and lot number)
- Department you are requesting records from
- Describe information requested as fully as possible

- JOYLE ORR SUB / LOT LINE CHAM
- VAN LEEWEN SUB.

Documents may not be taken from this office.



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR

P.B. FILE #04-19 DATE RECEIVED: 01-10-05 TAX MAP #32-2-76 & 77

PLEASE RETURN COMPLETED FORM TO MYRA
BY: 01-20-05 TO BE ON AGENDA FOR THE 01-26-05 PLANNING BOARD
MEETING.

THE MAPS AND/OR PLANS FOR:

JOYCE ORR

Applicant or Project Name

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE XXX,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: _____

☐ DISAPPROVED:

Notes: _____

Signature: _____

Reviewed by _____

date 1/5/05

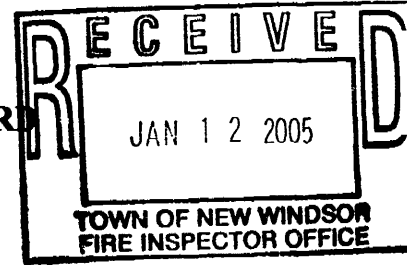


Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET



TO: E 911 COORDINATOR

P.B. FILE #04-19 DATE RECEIVED: 01-10-05 TAX MAP #32-2-76 & 77

PLEASE RETURN COMPLETED FORM TO MYRA
BY: 01-20-05 TO BE ON AGENDA FOR THE 01-26-05 PLANNING BOARD
MEETING.

THE MAPS AND/OR PLANS FOR:

JOYCE ORR

Applicant or Project Name

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE XXX,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: _____

☐ DISAPPROVED:

Notes: _____

Signature: _____

Reviewed by

date

[Signature] 1/11/05



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #04-19 DATE RECEIVED: 01-10-05 TAX MAP #32-2-76 & 77

PLEASE RETURN COMPLETED FORM TO MYRA
BY: 01-20-05 TO BE ON AGENDA FOR THE 01-26-05 PLANNING BOARD
MEETING. **RECEIVED**

THE MAPS AND/OR PLANS FOR:

JAN 12 2005

JOYCE ORR

Applicant or Project Name

BLW. HIGHWAY DEPT.

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE XXX,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☐ APPROVED:

Notes: under review

☐ DISAPPROVED:

Notes: _____

Signature: Denny J. Beall

Reviewed by

date 1/25/05



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

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☐ Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

☐ Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF: New Windsor

P/B APP. NO.: 04-19

WORK SESSION DATE: 3 Nov 04

PROJECT: NEW X OLD

REAPPEARANCE AT W/S REQUESTED: No

RESUB. REQ'D: _____

PROJECT NAME: Dr

REPRESENTATIVES PRESENT: Ken Lytle

MUNICIPAL REPS PRESENT:

BLDG INSP. _____
ENGINEER X
P/B CHMN _____

FIRE INSP. _____
PLANNER _____
OTHER _____

ITEMS DISCUSSED:

STND CHECKLIST:

PROJECT
TYPE

- address note re ded
of 25' (area not cult)

- show drive grade/slope.
- photo on new drive lot 77

DRAINAGE _____

SITE PLAN

DUMPSTER _____

SPEC PERMIT

SCREENING _____

L L CHG.

LIGHTING _____

(Streetlights)

SUBDIVISION

LANDSCAPING _____

OTHER

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

PROJECT STATUS:

ZBA Referral: Y X N

Ready For Meeting X Y N

Recommended Mtg Date 12-8-04



McGOEY, HAUSER and EDSALL

CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

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☐ Main Office

33 Airport Center Drive

Suite #202

New Windsor, New York 12553

(845) 567-3100

e-mail: mhenry@mhepc.com

☐ Regional Office

507 Broad Street

Millford, Pennsylvania 18337

(570) 296-2765

e-mail: mhepa@mhepc.com

Writer's E-mail Address:

mje@mhepc.com

PLANNING BOARD WORK SESSION

RECORD OF APPEARANCE

TOWN / VILLAGE OF:

New Windsor

P/B APP. NO.:

04-19

WORK SESSION DATE:

29 Oct 2003

PROJECT: NEW

X OLD

REAPPEARANCE AT W/S REQUESTED:

YES

RESUB. REQ'D:

Full later

PROJECT NAME:

Ort Lot Line Change

REPRESENTATIVES PRESENT:

Ka Ly H.

MUNICIPAL REPS PRESENT:

BLDG INSP.

ENGINEER

P/B CHMN

X

FIRE INSP.

PLANNER

OTHER

ITEMS DISCUSSED:

South Jackson

32-2-77

32-2-76

need 175' @ front yd.

subtract easement of driveway to 76 thru 77

get real top. not v561

can't share driveways.

- locate existing SDS

testing of new SDS - witness.

STND CHECKLIST:

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetlights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

PROJECT
TYPE

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral:

Y N

Ready For Meeting

Y N

Recommended Mtg Date



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

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e-mail: mheny@mhepc.com

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(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF: NEW Windsor P/B APP. NO. 04-19

WORK SESSION DATE: 7 JULY 2004 PROJECT: NEW X OLD

REAPPEARANCE AT W/S REQUESTED: Yes RESUB. REQ'D: fill latz

PROJECT NAME: Jayce Orr

REPRESENTATIVES PRESENT: Ken Lytle

MUNICIPAL REPS PRESENT: BLDG INSP. ENGINEER X P/B CHMN FIRE INSP. PLANNER OTHER

ITEMS DISCUSSED: Jackson Ave STND CHECKLIST: PROJECT TYPE

- loc plan accurate
- adj. man.
- shed soil test.
- * MYRA set up file on this to get escrow so permits can be done
- show future septic
- add note re exist wq/septic spec.

DRAINAGE SITE PLAN
DUMPSTER SPEC PERMIT
SCREENING L.L. CHG.
LIGHTING SUBDIVISION
(Streetlights) OTHER
LANDSCAPING
BLACKTOP
ROADWAYS
APPROVAL BOX

PROJECT STATUS:
ZBA Referral: Y N
Ready For Meeting Y X N

Recommended Mtg Date

**555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695**

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision ☒ Lot Line Change ☐ Site Plan ☐ Special Permit ☐

Tax Map Designation: Sec. 32 Block 2 Lot 76 + 77

BUILDING DEPARTMENT REFERRAL NUMBER PA2003 - 1279

1. Name of Project JOYCE ORR - 2 LOT SUBDIVISION

2. Owner of Record JOYCE ORR Phone

Address: 770 JACKSON AVENUE, NEW WINDSOR, N.Y. 12553
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant SAMZ Phone _____

Address: _____
 (Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan ZEN DESIGN CONSULTANTS, INC Phone 845-896-8896

Address: 2 SUMMIT COURT, SUITE 304, FISHKILL, N.Y. 12524
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

KEN LITTLE 845-896-8896 845-896-1921
(Name) (Phone) (fax)

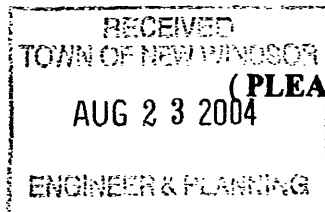
7. Project Location: On the EAST side of JACKSON AVENUE
(Direction) (Street)

8. Project Data: Acreage 4.26 Zone R-1 School Dist. 7

76-CORNWALL ↓
77-WASHINGTONVILLE

PAGE 1 OF 2

(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)



04-19

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes X No

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached AAgricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) CREATING a CONFORMING LOT ~~AND~~ BY RELOCATING A COMMON LOT LINE.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes no X

12. Has a Special Permit previously been granted for this property? yes no X

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

10th DAY OF August 2004

Joyce C. Orr
(OWNER'S SIGNATURE)

(AGENT'S SIGNATURE)

LISA VIDAL
Notary Public, State of New York
No. 01108110400
Qualified in Orange County
Commission Expires May 24, 2008

Lisa Vidal
NOTARY PUBLIC

Please Print Agent's Name as Signed

TOWN USE ONLY
RECEIVED
TOWN OF NEW VINSDOR
AUG 23 2004
DATE APPLICATION RECEIVED

04-19
APPLICATION NUMBER

PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <u>JOYCE ORR</u>	2. PROJECT NAME <u>JOYCE ORR - 2 LOT SUBDIVISION</u>
3. PROJECT LOCATION: Municipality <u>NEW WINDSOR</u> County <u>ORANGE</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>770 JACKSON AVENUE</u>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>2 LOT CREATING A CONFORMING LOT BY RELOCATING A COMMON LOT LINE.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>4.26</u> acres Ultimately <u>4.26</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>JOYCE ORR Joyce C. Orr</u> Date: _____	
Signature: _____	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

AUG 23 2004

OVER

1

04-19

ENGINEER & PLANNING

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.

☐ Yes ☐ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.8? If No, a negative declaration may be superseded by another involved agency.

☐ Yes ☐ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?

☐ Yes ☐ No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from responsible officer)

RECEIVED
TOWN OF TOWNSHIPS

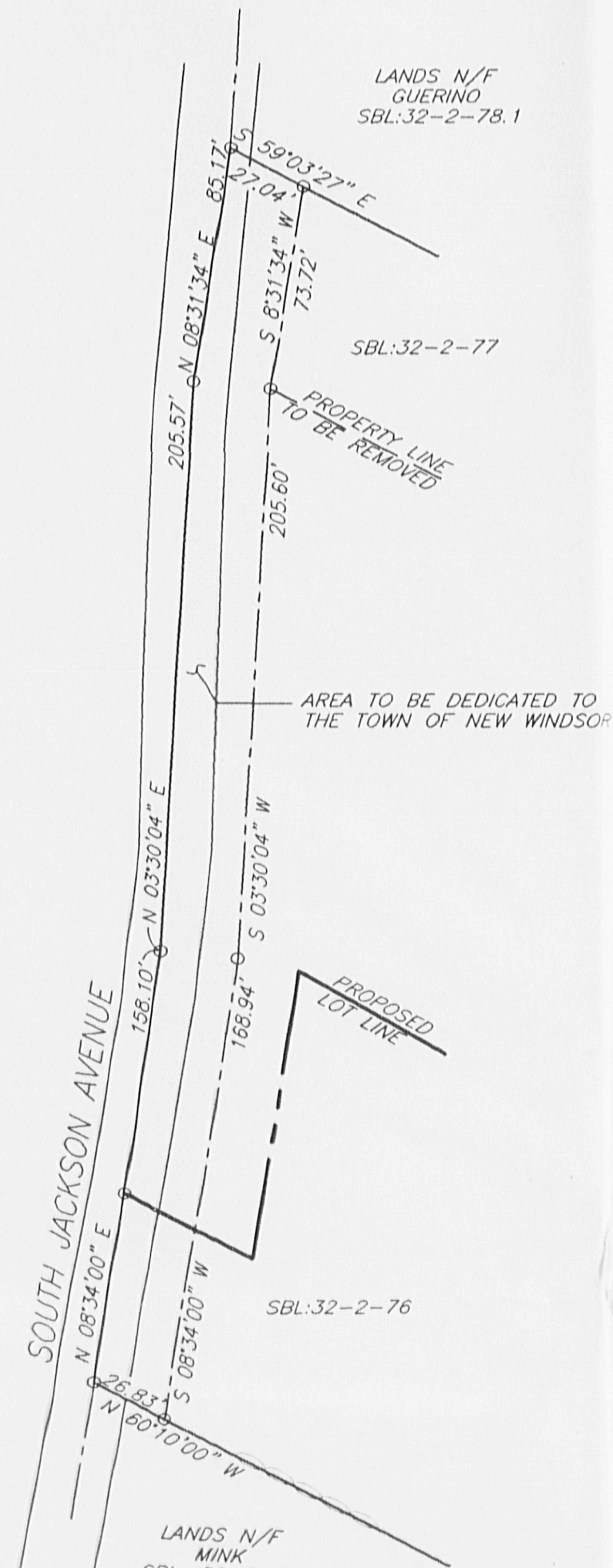
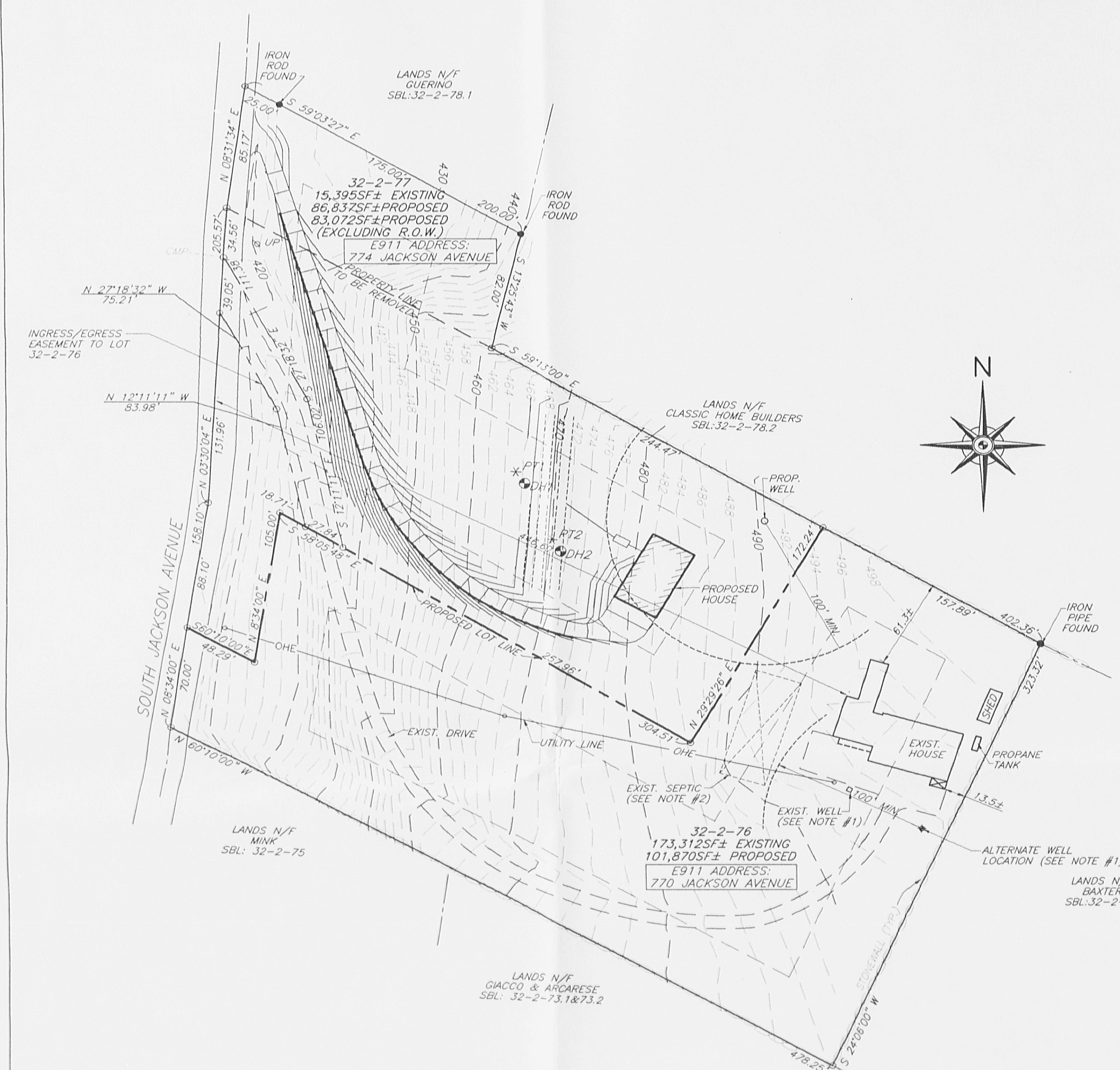
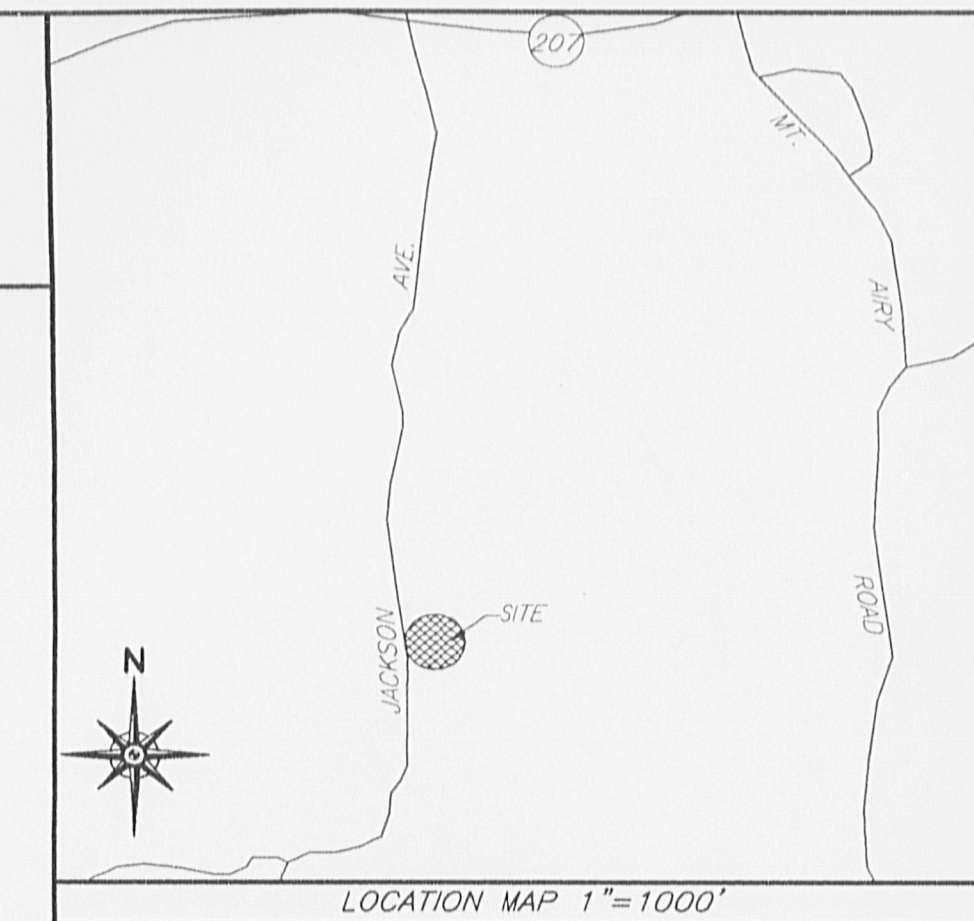
Date

AUG 23 2004

2

04-19

ENGINEER & PLANNING



SBL: 32-2-77
TOWN OF NEW WINDSOR
ZONE: R-1
TOTAL AREA EXIST. 15,395sf±

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (sf)	80,000	15,395	83,072 (EXCLUDING R.O.W.)
MINIMUM YARDS			
FRONT	45'	N/A	+45'
REAR	50'	N/A	+50'
SIDE (ONE)	40'	N/A	+40'
SIDE (BOTH)	80'	N/A	+80'
MINIMUM LOT			
WIDTH	175'	85'±	376'±
FRONTAGE	70'	85'±	376'±
MAX. BUIL. HEIGHT	35'	<35'	<35'
MIN. LIVING AREA (SF)	1200	N/A	+1200
MAX DEVEL. COVERAGE	20%	N/A	<20%

SBL: 32-2-76
TOWN OF NEW WINDSOR
ZONE: R-1
TOTAL AREA EXIST. 173,312sf±

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (sf)	80,000	173,312	101,870
MINIMUM YARDS			
FRONT	45'	446'±	446'±
REAR	50'	15'±	15'±
SIDE (ONE)	40'	61'±	61'±
SIDE (BOTH)	80'	200'±	200'±
MINIMUM LOT			
WIDTH	175'	364'±	325'±
FRONTAGE	70'	364'±	70'
MAX. BUIL. HEIGHT	35'	<35'	<35'
MIN. LIVING AREA (SF)	1200	2874'±	2874'±
MAX DEVEL. COVERAGE	20%	7±%	12±%

OWNER'S CONSENT NOTE:

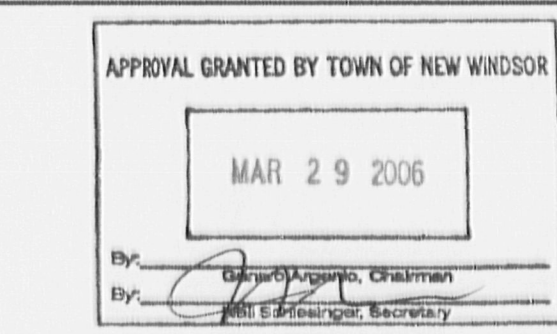
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

OWNER

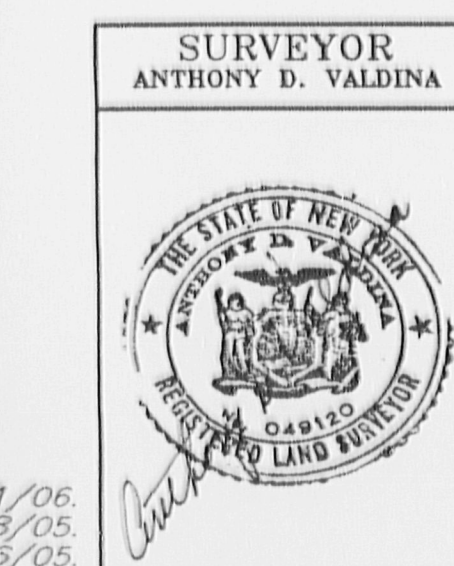
JOYCE ORR
SOUTH JACKSON AVENUE
NEW WINDSOR, NY 12553

SIGNATURE

PLANNING BOARD APPROVAL



NEW WINDSOR P.B. APPLICATION # 04-19.



LOT LINE CHANGE / LANDS OF ORR:
SITE PLAN
JACKSON AVENUE, SBL: 32-2-76&77
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

JK JOHN KARELL, JR., P.E.
2 SUMMIT COURT, SUITE 304
FISHKILL, N.Y. 12524
(845)-896-8896 (phone), (845)-896-1921 (fax)

DATE	SCALE	JOB NUMBER	SHEET NUMBER
7/9/03	1" = 50'	23046-BAX	1 OF 3

GENERAL NOTES:

- EXISTING SPACING IS NON-CONFORMING FOR WELL TO SEPTIC AS NOTED ON TAX LOT 76. OWNER TO MONITOR WATER QUALITY. IF CONTAMINATION IS NOTED, ALTERNATE WELL LOCATION SHOWN SHALL BE USED.
- EXISTING SEPTIC LOCATION AS PER OWNER IN FIELD.
- MAP ENTITLED, "PLOT PLAN FOR ANTHONY & FRED FAYO" PREPARED BY WILLIS C. HAWKINS, DATED 4/10/02.
- PERC & DEEP INFO SHOWN ARE WITNESSED BY M.H.E. OFFICE ON 9/14/04.
- A 25' WIDE STRIP ALONG JACKSON AVENUE SHALL BE DEDICATED TO THE TOWN OF NEW WINDSOR UPON APPROVAL OF THIS SUBDIVISION. THIS AREA WILL NOT BE SUBTRACTED FROM THE LOT AREAS AS PER PLANNING BOARD POLICY.

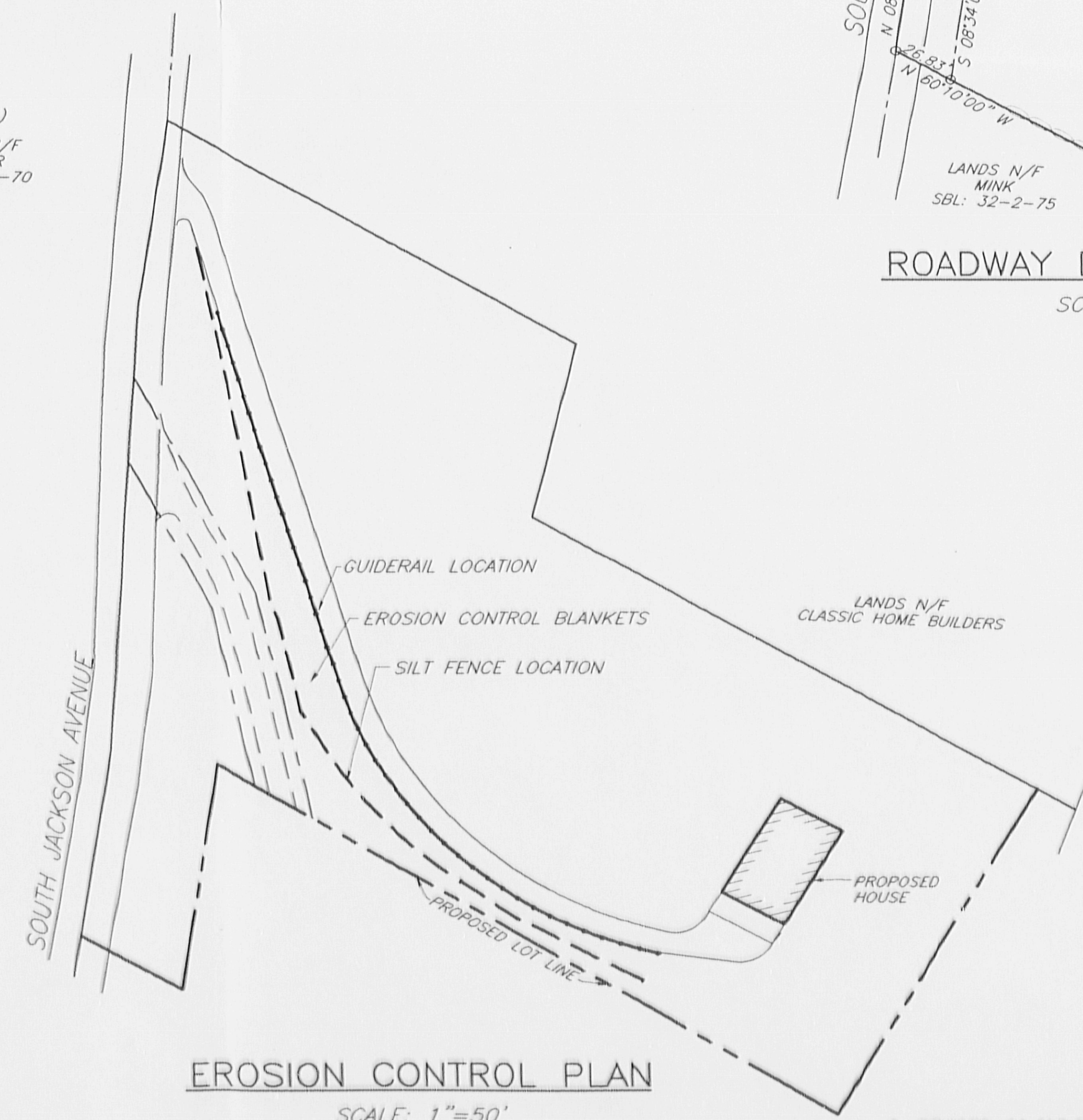
SURVEY NOTES:

- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
- UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
- SURVEYED IN ACCORDANCE WITH FILED MAP, DEEDS, AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF SURVEY.
- SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN UP TO DATE TITLE ABSTRACT REPORT.

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD, BY ANTHONY D. VALDINA, LAND SURVEYOR ON 11/16/04.

EROSION CONTROL PLAN



SCALE: 1"=50'

- REVISED 01/27/06 PER P.B. COMMENTS 01/11/06.
- REVISED 06/13/05 PER P.B. COMMENTS 06/08/05.
- REVISED 02/02/05 PER P.B. COMMENTS 01/26/05.

SEPTIC SYSTEM DESIGN DATA:

SBL: 32-2-77		
PERCOLATION DATA *	PH1 24" DEEP	09/14/04
	STABILIZED RATE- 18 MIN/INCH	
	PH2 12" DEEP	09/14/04
DEEP PIT DATA	DP1 5'-4" DEEP	09/14/04
	0"-10" TOPSOIL	
	10"-64" CLAY LOAM	
DESIGN DATA	DP2 5'-2" DEEP	09/14/04
	0"-10" TOPSOIL	
	10"-62" CLAY LOAM	
1.) NO OF BEDROOMS - 4		
2.) DAILY FLOW - 520 G.P.D.		
3.) SEPTIC TANK CAPACITY - 1,250 GAL		
4.) STABILIZED PERCOLATION RATE- 18 MIN/INCH		
5.) DESIGN PERCOLATION RATE- 34 MIN/INCH		
6.) ABSORPTION FIELD LENGTH- REQ'D (4BDRM)- 520 L.F. (DOSING REQ'D)		
(3BDRM)- 390 L.F.		
PROV'D-9 @ 58"-522 L.F.		
7.) FILL REQUIRED- 12"		

1. 4 BEDROOM HOUSE REQUIRES A DOSING CHAMBER.
2. STABILIZED PERCOLATION RATE IS BASED ON PRELIMINARY SOIL EVALUATIONS FROM 06/07/04.
3. SOIL INFORMATION BASED ON FIELD TESTS TESTS WITNESSED BY MCGOEY,HAUSER & EDSALL.

SEPTIC SYSTEM GENERAL NOTES:

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINE ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITH IN 35' OF ANY WATER COURSE DRAINAGE DITCH.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
19. THE DESIGN ENGINEER WILL BE REQUIRED TO CERTIFY THE COMPLETE DISPOSAL FACILITY.

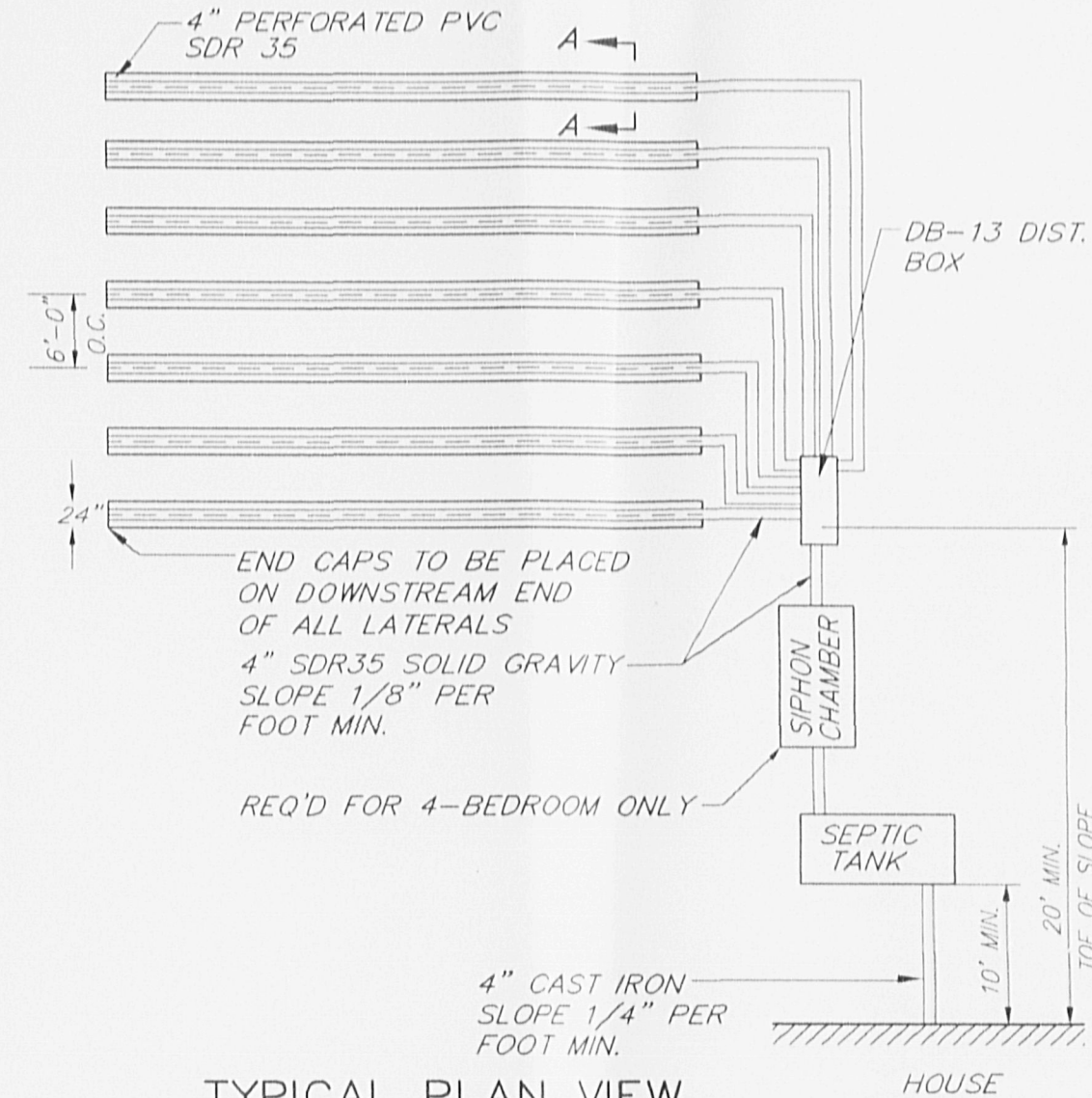
STANDARD NOTES:

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

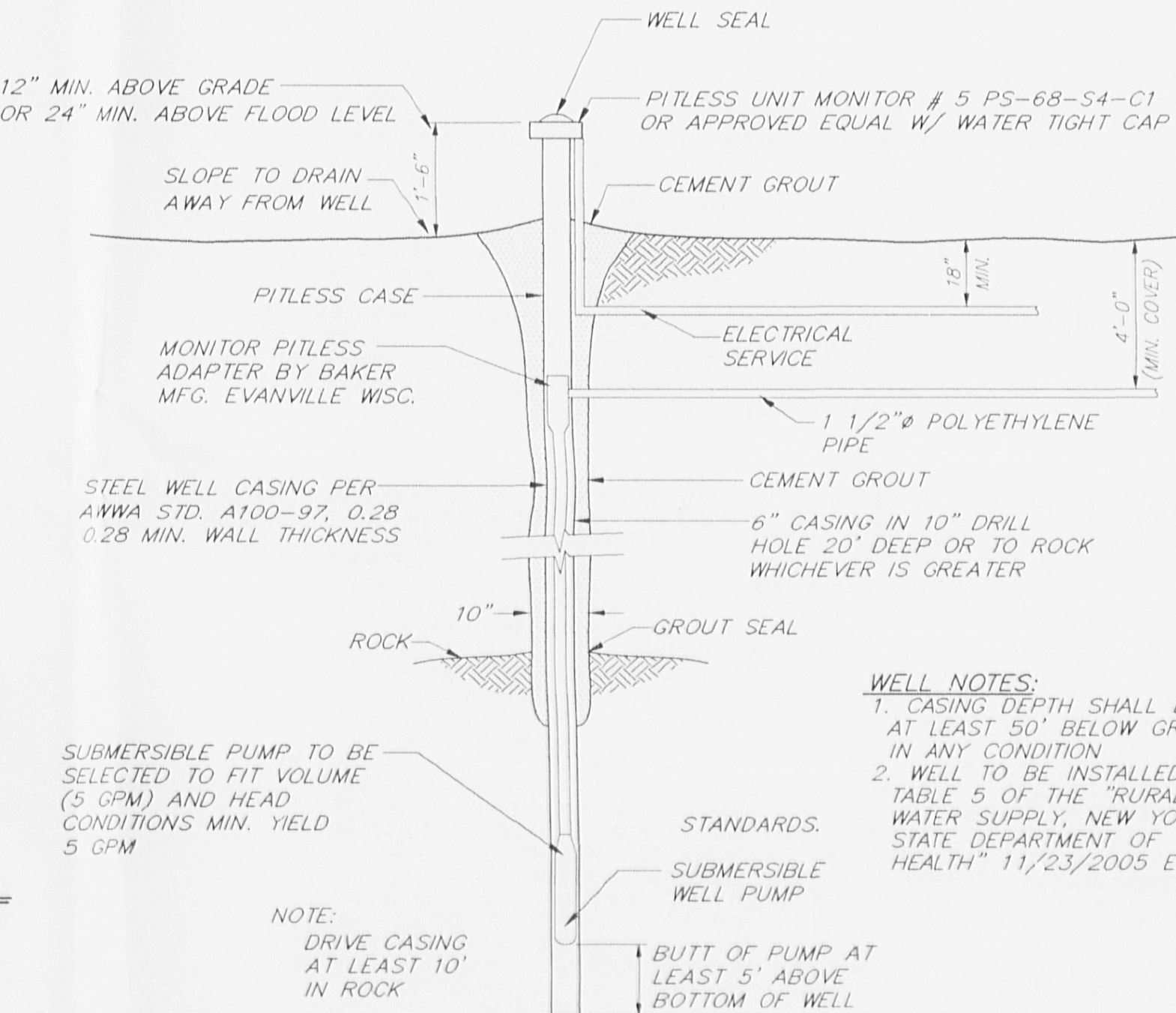
"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT. TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.



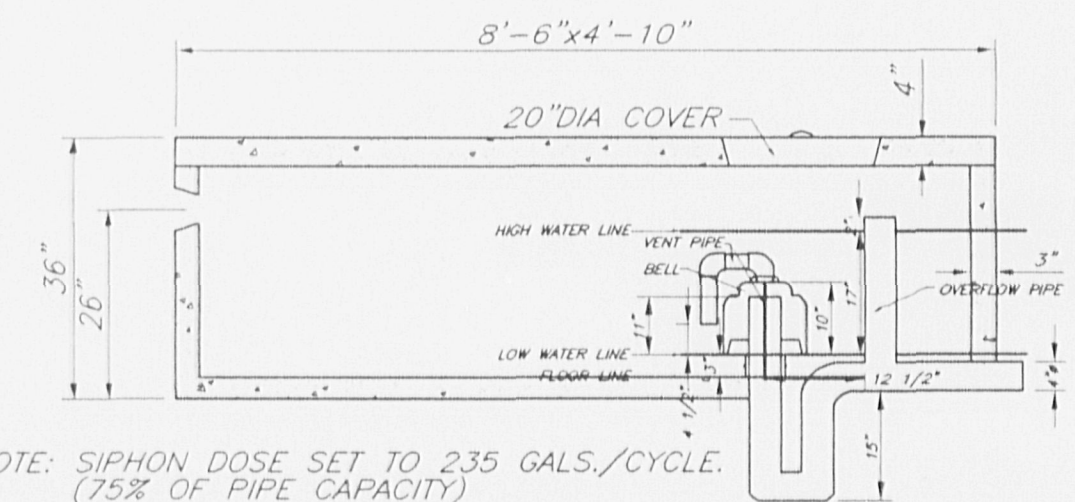
TYPICAL PLAN VIEW



- WELL NOTES:**
1. CASING DEPTH SHALL EXTEND AT LEAST 50' BELOW GROUND IN ANY CONDITION
 2. WELL TO BE INSTALLED PER TABLE 5 OF THE "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH" 11/23/2005 EDITION.

NOTE: DRIVE CASING AT LEAST 10' IN ROCK

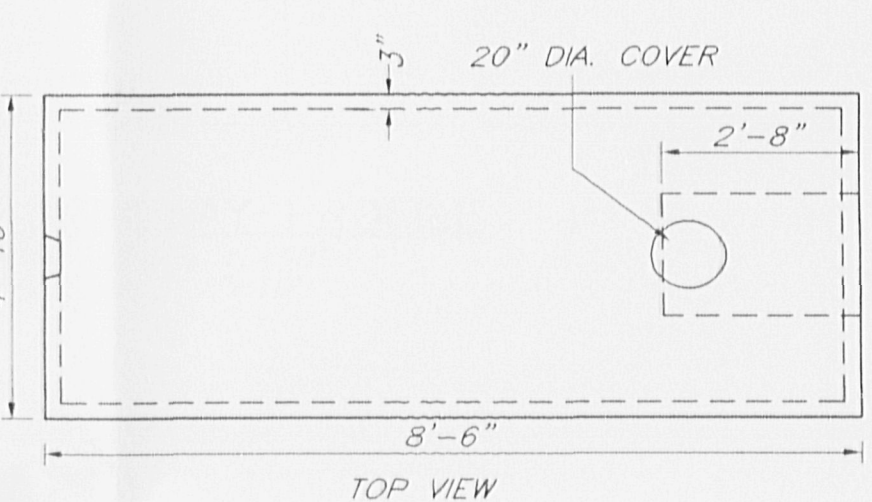
WELL DETAIL



NOTE: SIPHON DOSE SET TO 235 GALS./CYCLE (75% OF PIPE CAPACITY)

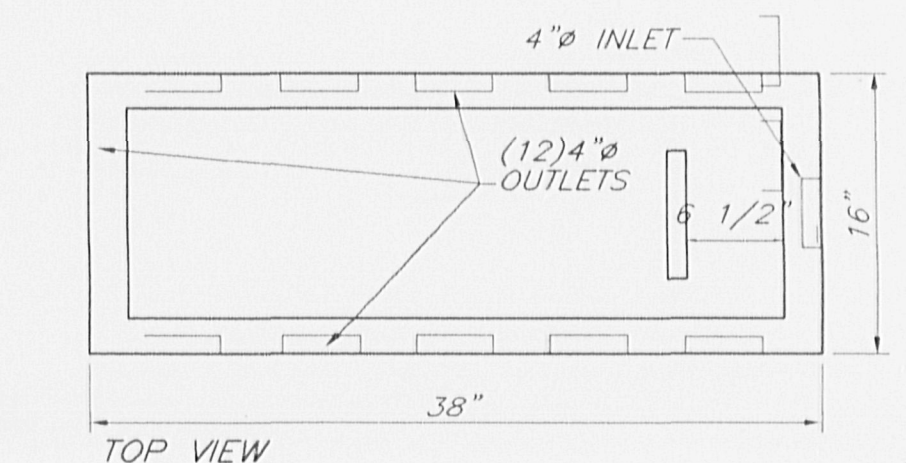
SIPHON CHAMBER DETAIL

(REQUIRED FOR 4-BEDROOM ONLY BASED ON DESIGN RATE)

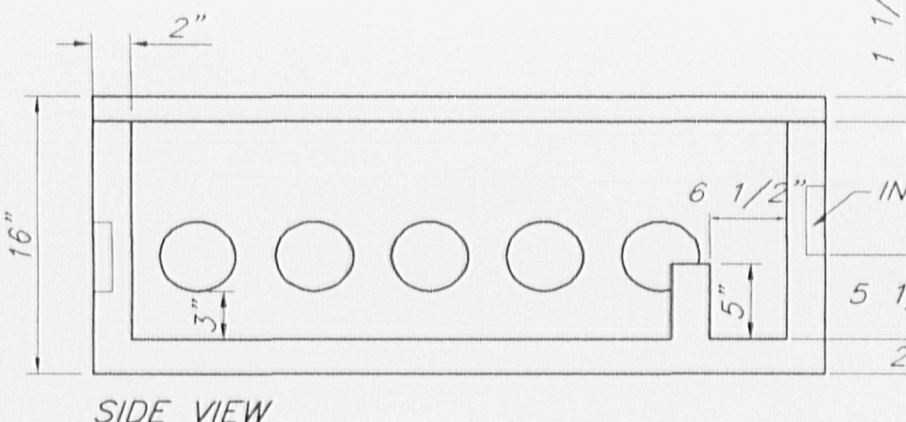


SEPTIC PROFILE

NOTE: FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE DESIGNED SOIL PERCOLATION RATE.



TOP VIEW

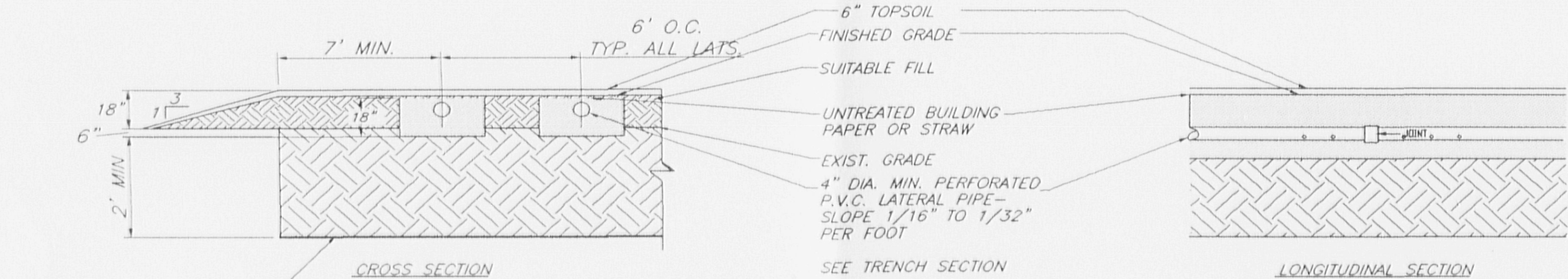


SIDE VIEW

WOODARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL

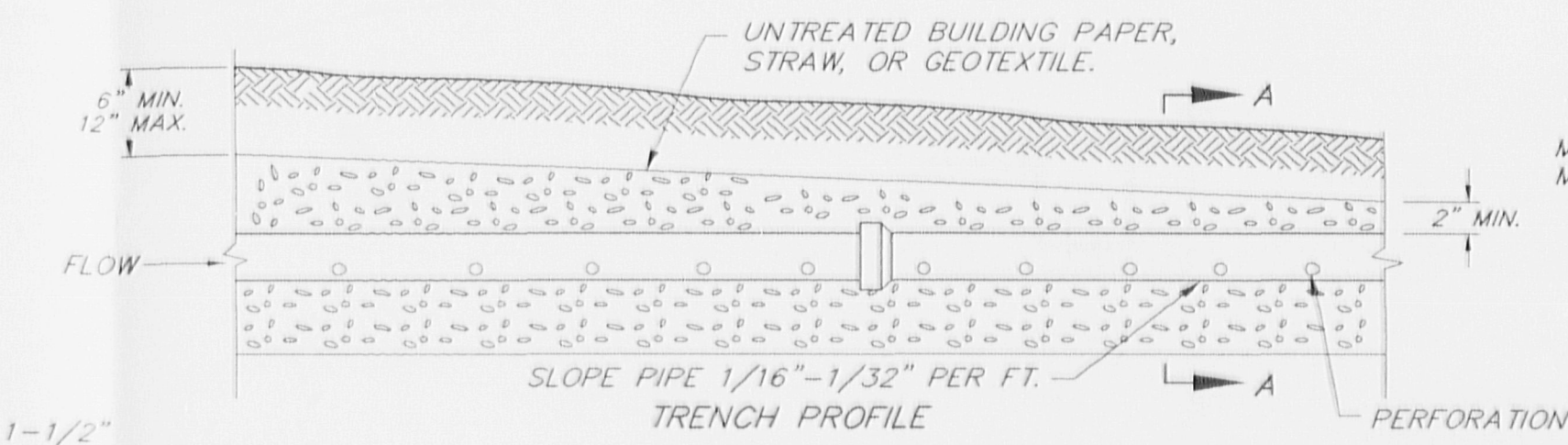
N.T.S.

SPECIFICATIONS
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
REINFORCEMENT- 6"x6"10GA. WIRE MESH
AIR ENTRAPMENT- 5%
PIPE CONNECTION- POLYLOK SEAL (PATENTED)
LOAD RATING- 300PSF WEIGHT= 325 LBS.



SHALLOW ABSORPTION TRENCH DETAIL

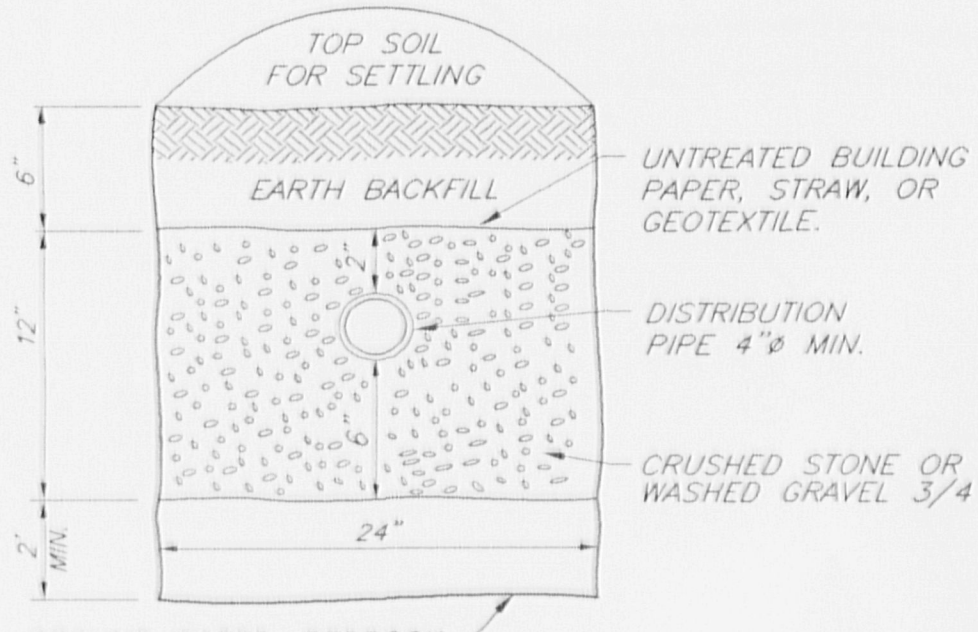
N.T.S.



ABSORPTION TRENCH DETAIL

N.T.S.

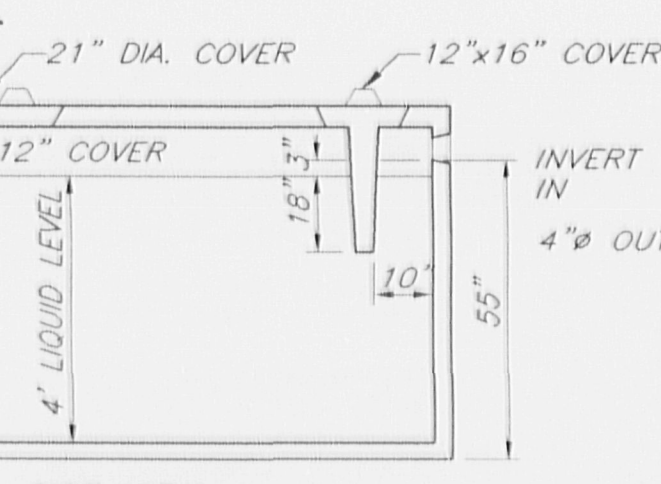
- NOTE:
1. DO NOT INSTALL TRENCHES IN WET SOIL
 2. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL
 3. ENDS OF ALL DISTRIBUTION PIPES MUST BE PLUGGED UNLESS INTERCONNECTED.
 4. TRENCHES TO BE 6' MINIMUM ON CENTER.
 5. 4' MINIMUM OF UNDISTURBED SOIL TO BE MAINTAIN BETWEEN TRENCHES.
 6. THE BOTTOM OF THE TRENCH TO BE SET LEVEL.



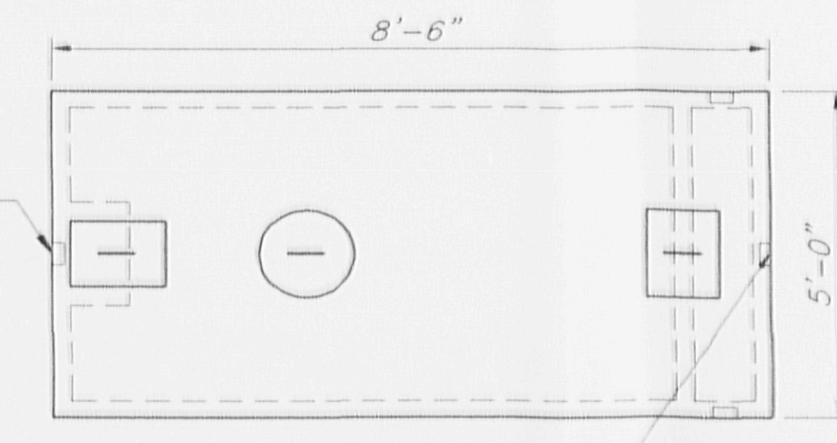
TYP. TRENCH SECTION A-A

N.T.S.

- NOTES:
1. BOTTOM OF ALL TRENCHES SHALL BE ABOVE ORIGINAL USABLE SOIL AND TRENCHES SHOULD BE AT MIN. 6" BELOW ORIGINAL GRADE.
 2. USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
 3. TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.
 4. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30"
 5. THE EDGE OF THE FILL MATERIAL SHALL BE TAPERED AT A SLOPE OF NO GREATER THAN ONE VERTICAL TO THREE HORIZONTAL. ON SLOPED SITES A DIVERSION DITCH SHALL BE PLACED ON THE UPHILL SIDE TO PREVENT RUNOFF FROM ENTERING THE FILL.



SIDE VIEW



TOP VIEW

SPECIFICATIONS
CONCRETE MIN. STRENGTH-4,000 PSI AT 28 DAYS
STEEL REINFORCEMENT- 6"x6"10 GA. WIRE MESH
CONSTRUCTION JOINT-SEALED WITH BUTYL RUBBER BASE CEMENT
PIPE CONNECTION-POLY-LOC SEAL (PATENT PENDING)
(H2O LOADING ON REQUEST)

WOODARDS 1,250 GALLON SEPTIC TANK OR EQUAL

N.T.S.

2. REVISED 01/27/06 PER P.B. COMMENTS 01/11/06.
1. REVISED 02/02/05 PER P.B. COMMENTS 01/26/05.

PLANNING BOARD APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDSOR
MAR 29 2006
By: [Signature]
[Signature]
[Signature]

NEW WINDSOR P.B. APPLICATION # 04-19

LOT LINE CHANGE / LANDS OF ORR:
SEPTIC DETAILS & NOTES
JACKSON AVENUE
SBL: 32-2-76&77
TOWN OF NEW WINDSOR, ORANGE COUNTY

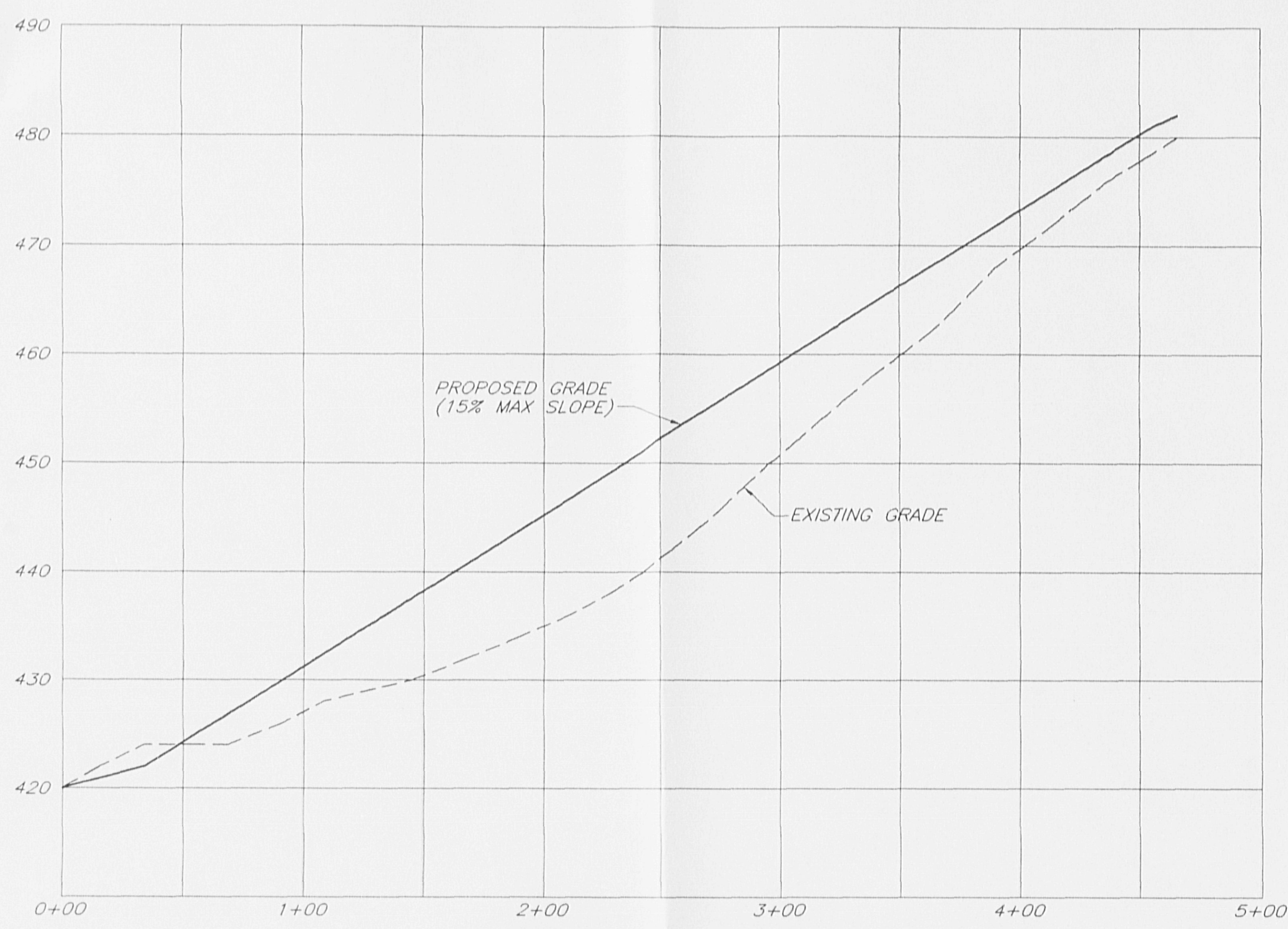
ENGINEER



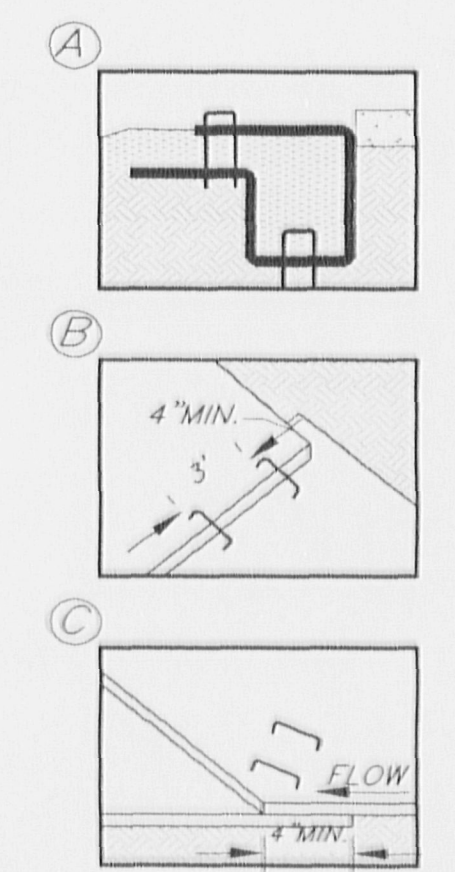
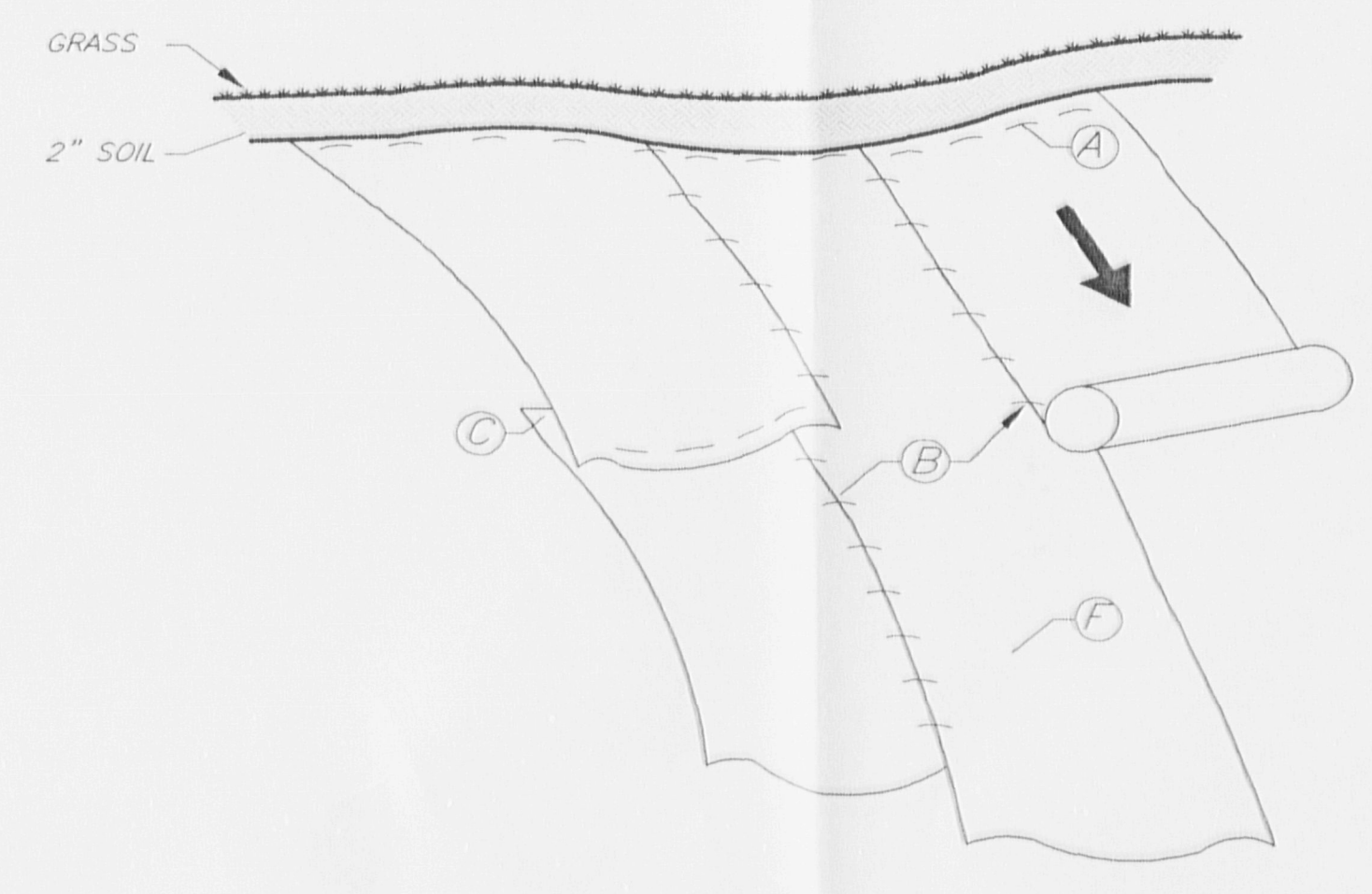
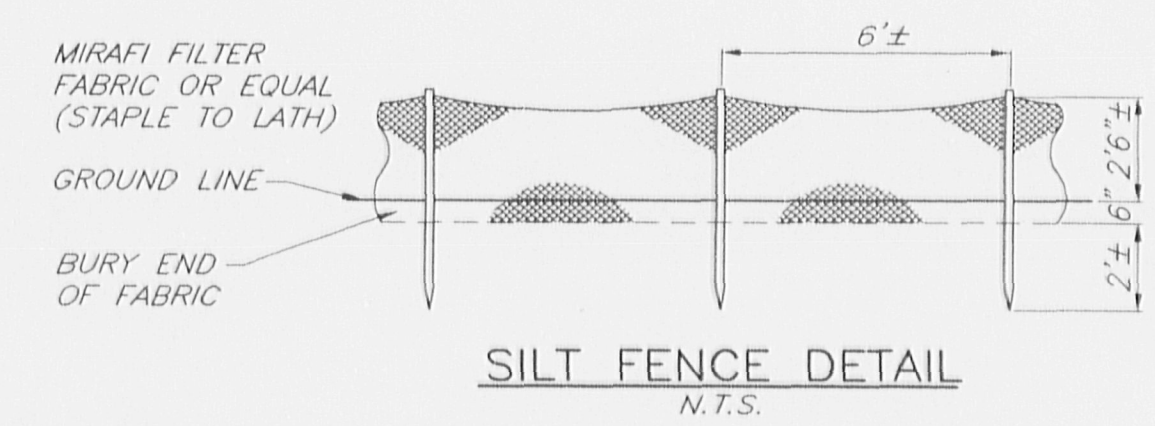
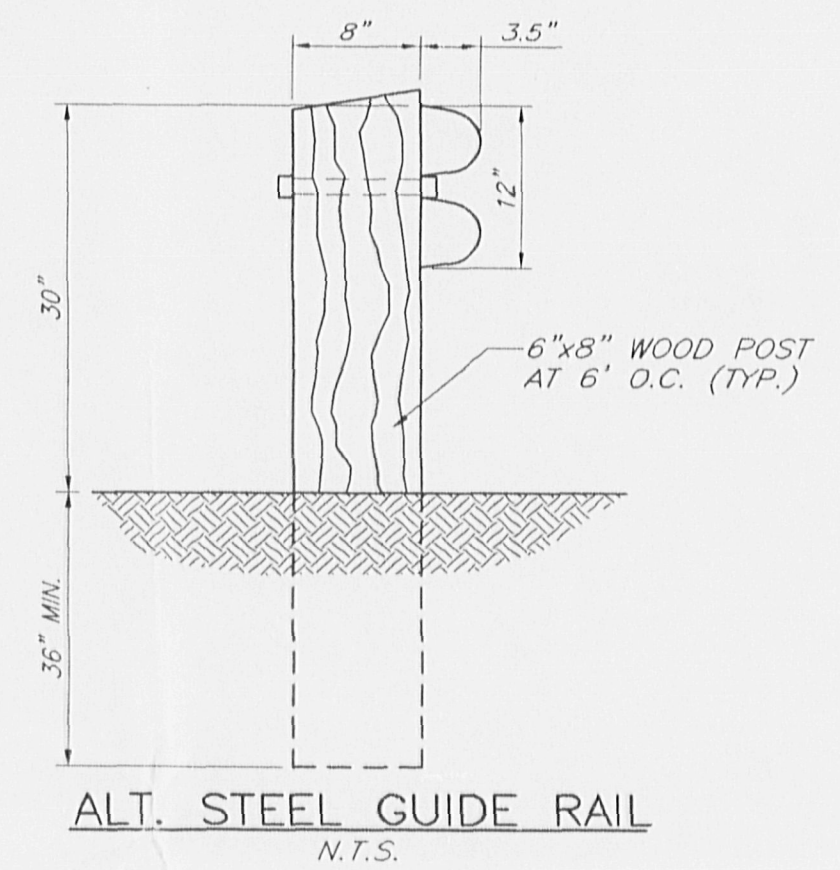
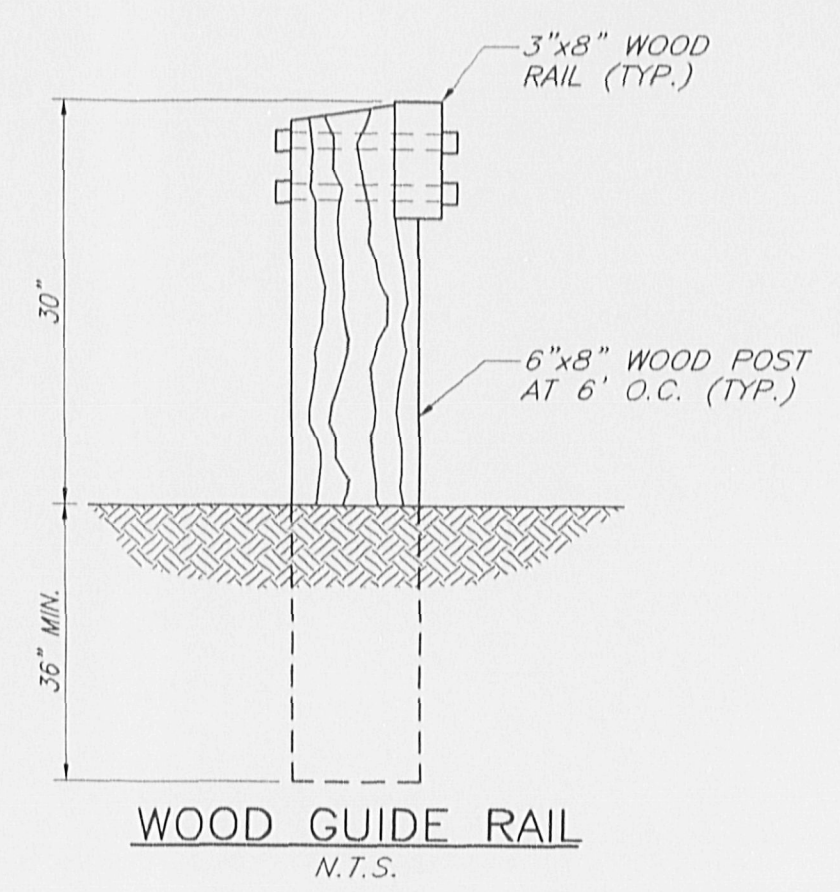
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(845)-896-8896 (phone), (845)-896-1921 (fax)

DATE: 7/9/03 SCALE: 1" = 60' JOB NUMBER: 23046-BAX SHEET NUMBER: 2 OF 3

SENT 7/2/06



PROPOSED DRIVEWAY PROFILE
HORIZONTAL SCALE= 1"=50'
VERTICAL SCALE= 1"=10'



STAPLE PATTERN BY SLOPE
4:1 SLOPE= .7 STAPLES/YD²
3:1 SLOPE= 1.2 STAPLES/YD²
2:1 SLOPE= 1.75 STAPLES/YD²
MED.-HIGH FLOW CHANNEL= 3.5 STAPLES/YD²
HIGH FLOW CHANNEL= 3.8 STAPLES/YD²

- BASIC INSTALLATION GUIDELINES** (CONFIRM W/ MANUFACTURER AND LOCAL MUNICIPALITIES)
1. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING.
 2. BEGIN THE INSTALLATION PROCESS BY DIGGING A TRENCH 6" DEEP BY 6" WIDE AT THE TOP OF THE SLOPE. PLACE 12" OF BLANKET OVER THE UP-SLOPE PORTION OF THE TRENCH. SECURE THE BLANKET AT THE BOTTOM OF THE TRENCH WITH STAPLES PLACED 12" APART. BACKFILL AND COMPACT THE TRENCH. APPLY SEED, AND FOLD THE REMAINING 12" OVER SOIL. SECURE WITH A ROW OF STAPLES PLACED 12" APART ACROSS THE WIDTH OF THE BLANKET (DIAG. A).
 3. ROLL THE BLANKET VERTICALLY DOWN THE SLOPE. SECURE USING THE APPROPRIATE STAPLE PATTERN, SPECIFIED BY SLOPES.
 4. PARALLEL BLANKETS MUST BE OVERLAPPED BY A MINIMUM OF 4" AND SECURED WITH A ROW OF STAPLES PLACED APPROX. 3'-0" APART (DIAG. B).
 5. ADDITIONAL VERTICAL BLANKETS CAN BE JOINED USING A MINIMUM OF 4" OVERLAPPING OR SHINGLE STYLE IN THE DIRECTION OF WATER FLOW. CONNECT THE BLANKETS BY PLACING STAPLES APPROX. 12" APART ACROSS THE WIDTH OF THE BLANKETS (DIAG. C).
 6. AN INTERMITTENT CHECK SLOT IS RECOMMENDED FOR BLANKETS PLACED ON A LONG SLOPE. A 6" DEEP BY 6" WIDE TRENCH IS MADE. BLANKET IS PLACED AT BOTTOM OF TRENCH AND COVERED WITH APPROX. 2" OF SOIL. BLANKET IS ROLLED OVER COMPACTED SOIL AND SECURED WITH STAPLES PLACED 12" APART. BACKFILL AND COMPACT THE TRENCH. APPLY SEED, AND CONTINUE WITH GENERAL INSTALLATION (DIAG. D).
 7. THE END OF THE BLANKET MUST BE SECURED IN A 6"x6" TRENCH WITH A ROW OF STAPLES PLACED AT 12" INTERVALS (DIAG. F).

EROSION CONTROL STANDARD NOTES

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCRDACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.
18. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO SITE DISTURBANCE FROM CONSTRUCTION ACTIVITIES, AND WILL COMPLY WITH THE STANDARDS OF THE, "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL", LATEST EDITION.

PLANNING BOARD APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDSOR
MAR 29 2006
By: [Signature]
By: [Signature]

NEW WINDSOR P.B. APPLICATION # 04-19.

LOT LINE CHANGE / LANDS OF ORR:
MISC. DETAILS
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SBL: 32-2-76&77
TOWN OF NEW WINDSOR, ORANGE COUNTY

ENGINEER
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DATE	SCALE	JOB NUMBER	SHEET NUMBER
02/02/05	1" = 50'	23046-BAX	3 OF 3